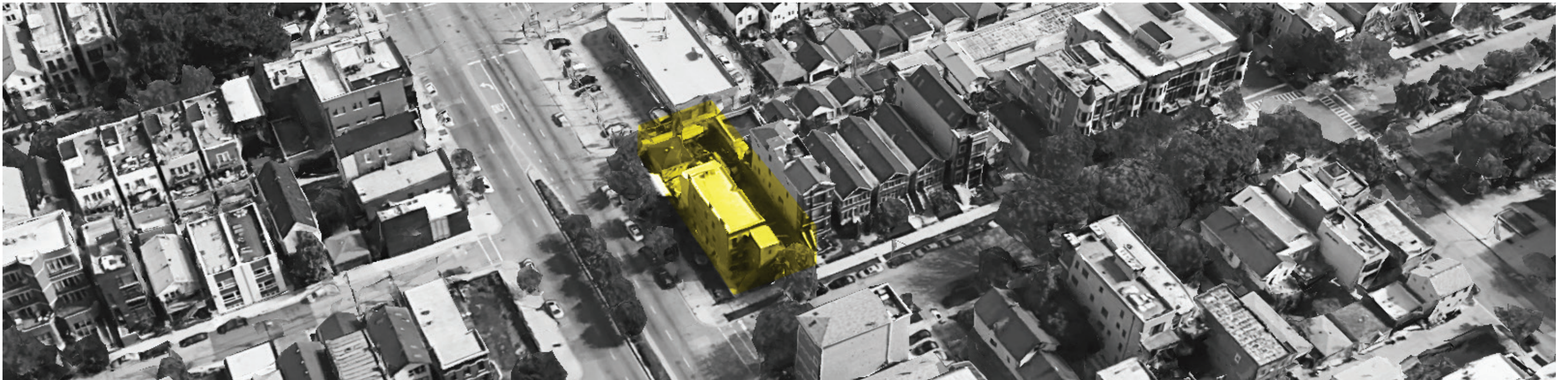


**LEVEL**

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CHICAGO ILLINOIS

*April 9th, 2019*

**CONCEPT DESIGN- EPCC ZONING COMMITTEE REVIEW**



**1536 WEST OHIO ST**

*Chicago, IL*

**JODI DEVELOPMENT + RANQUIST DEVELOPMENT**

# EXISTING CONTEXT PHOTOGRAPHS



VIEW OF SITE FROM ASHLAND LOOKING NORTHEAST



LOOKING WEST ON OHIO AT SITE (RIGHT)



STREET ELEVATION ON OHIO (NORTH SIDE OF STREET)



PROPERTY TO NORTH OF SITE - ASHLAND ELEVATION



CORNER VIEW OF SITE LOOKING SOUTHEAST



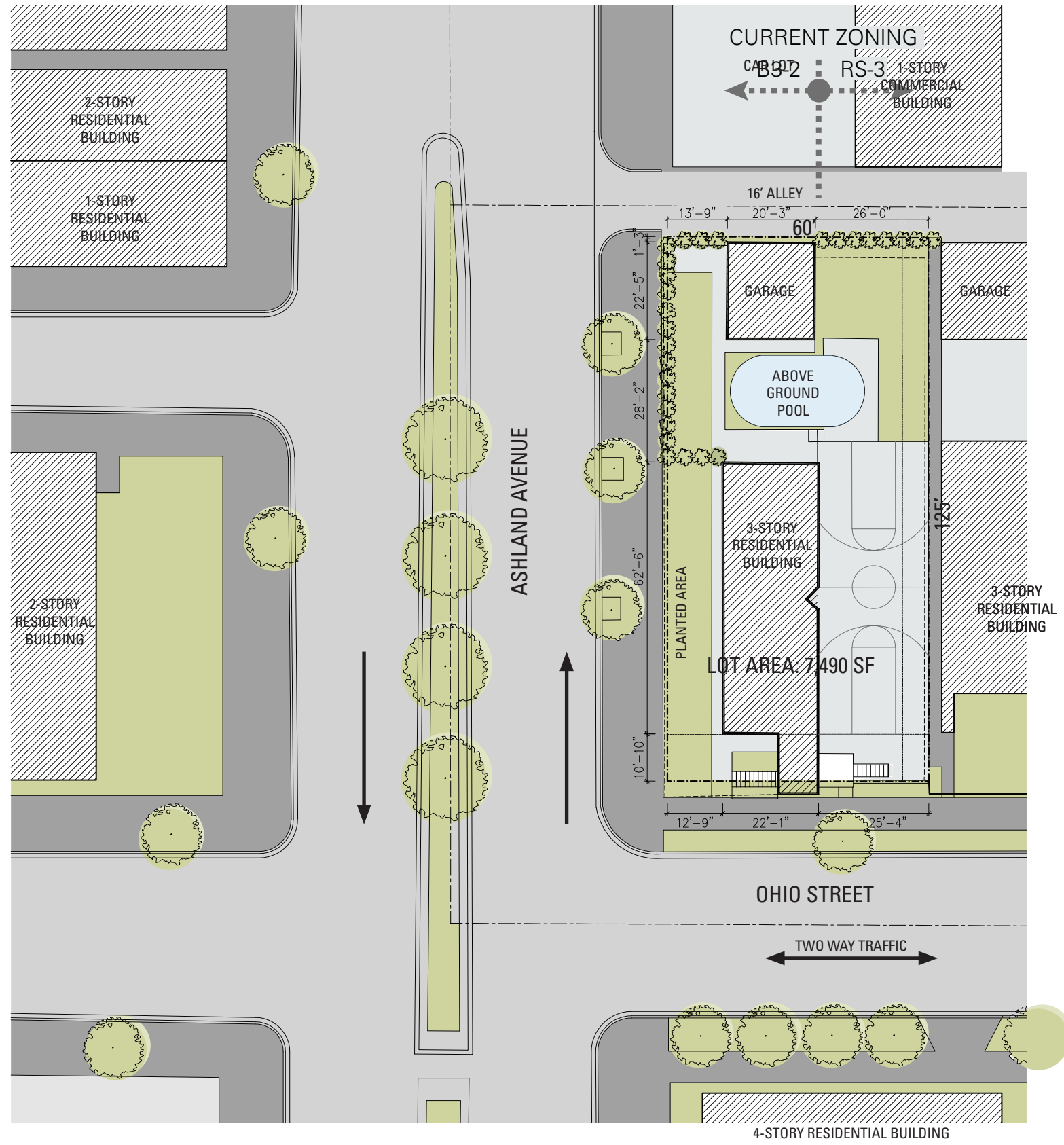
LOOKING EAST TOWARDS OHIO AT ASHLAND AVE AND SITE (RIGHT)

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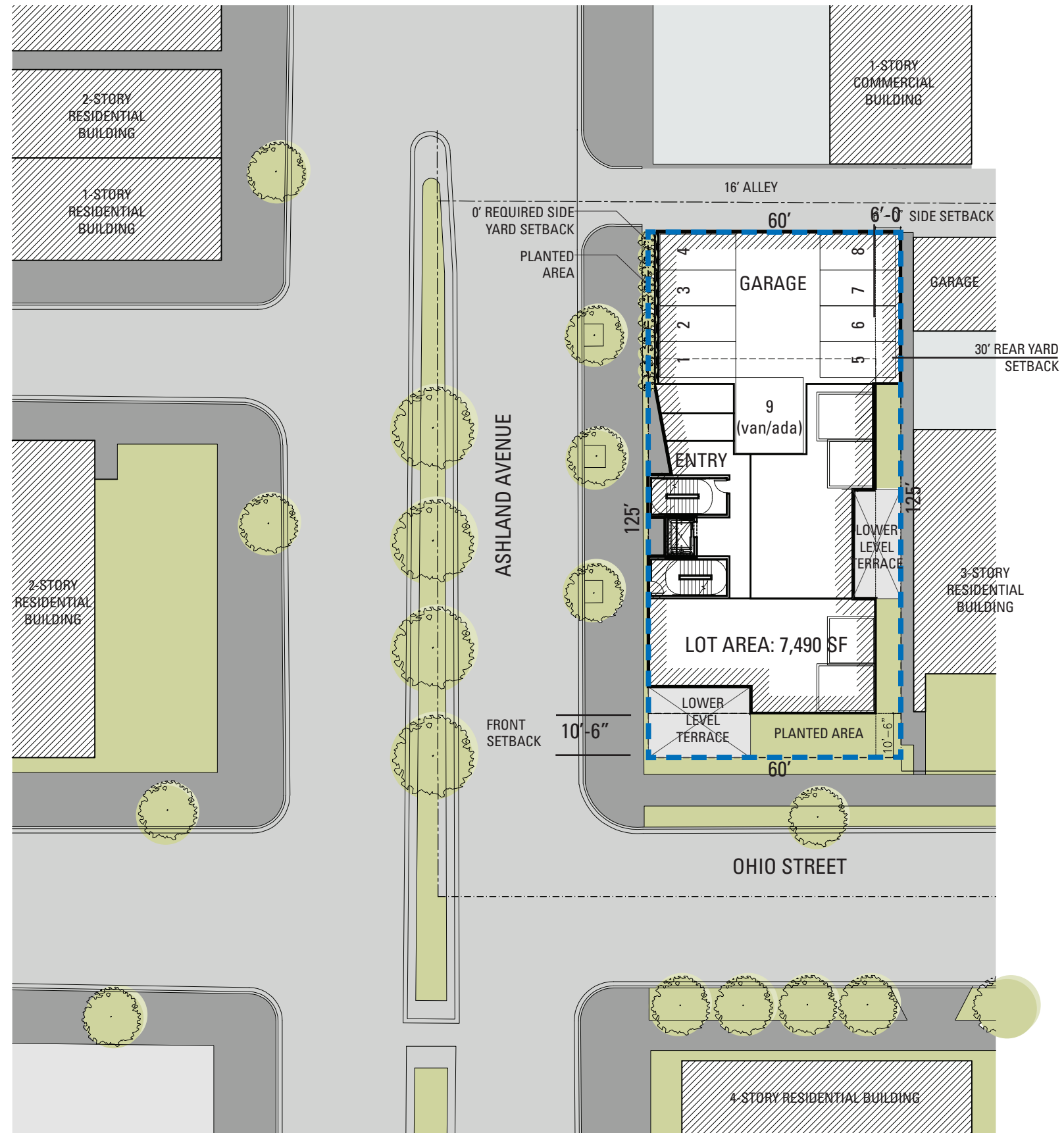
# EXISTING SITE PLAN



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# PROPOSED SITE PLAN



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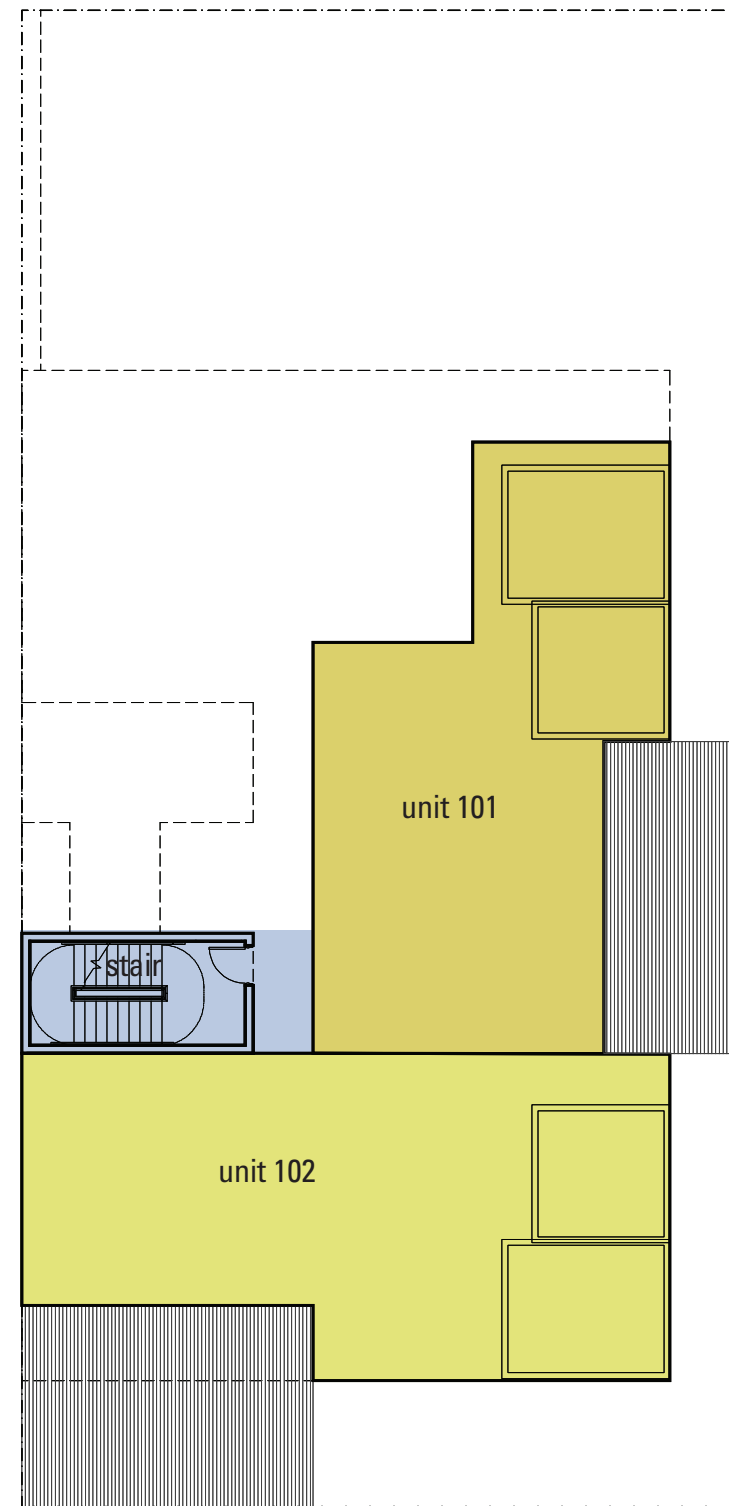
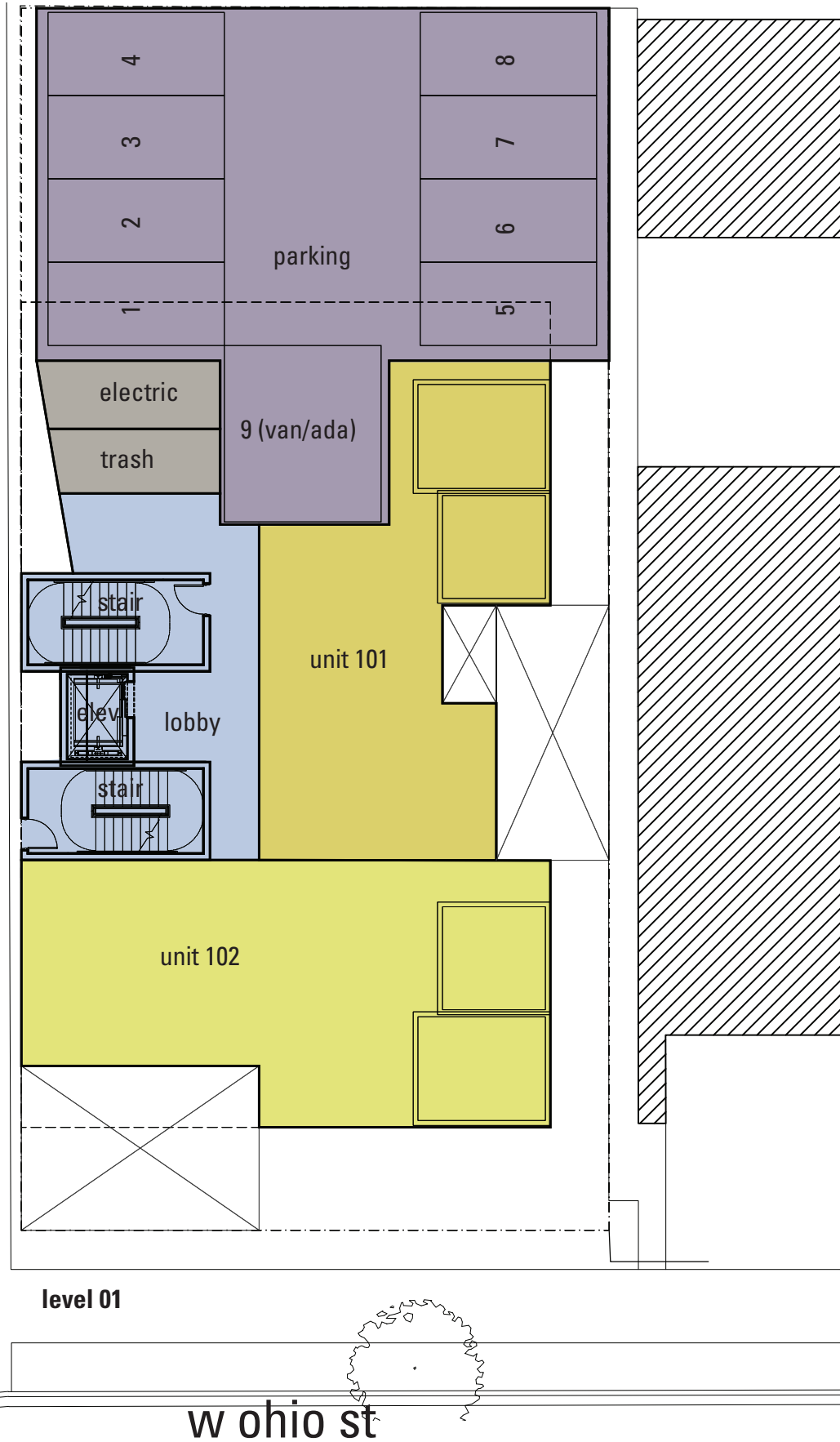
SCALE : 1" = 30'

III-B CONDOMINIUMS



# FLOOR PLANS

n ashland ave



- SERVICE
- RESIDENTIAL
- PARKING
- LOBBY



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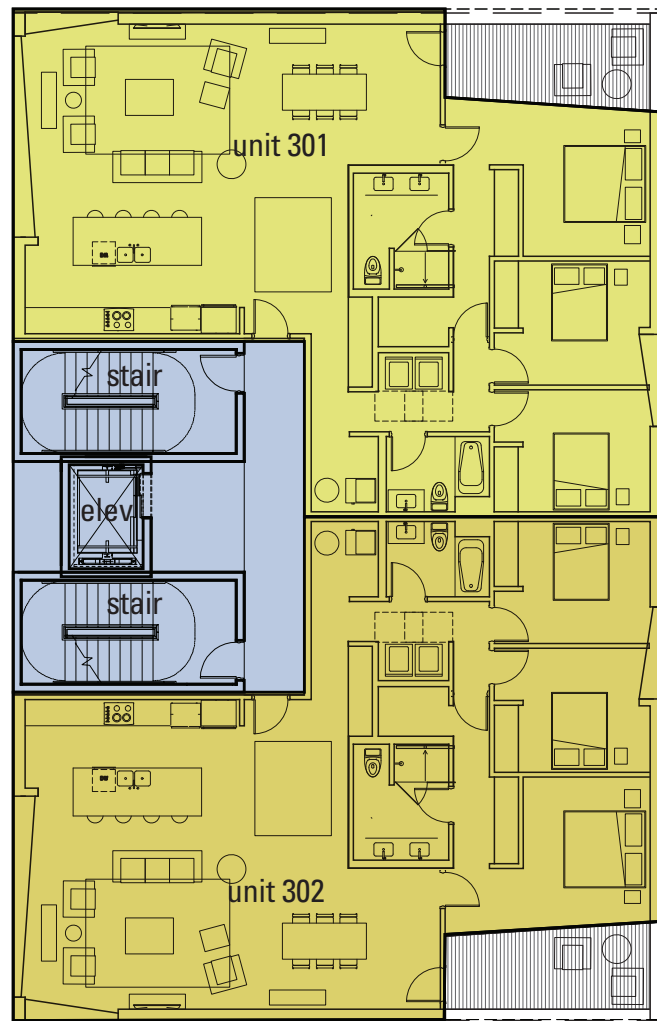
SCALE : 1/16" = 1'-0"

III-B CONDOMINIUMS



# FLOOR PLANS

- SERVICE
- RESIDENTIAL
- PARKING
- LOBBY



level 03



level 02



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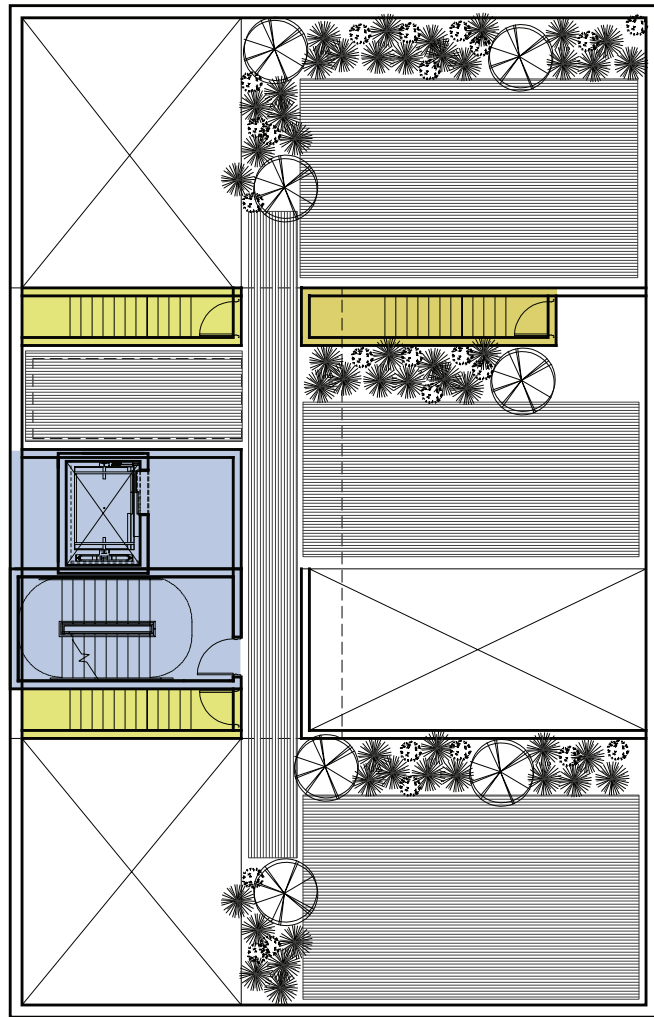
SCALE : 1/16" = 1'-0"

III-B CONDOMINIUMS

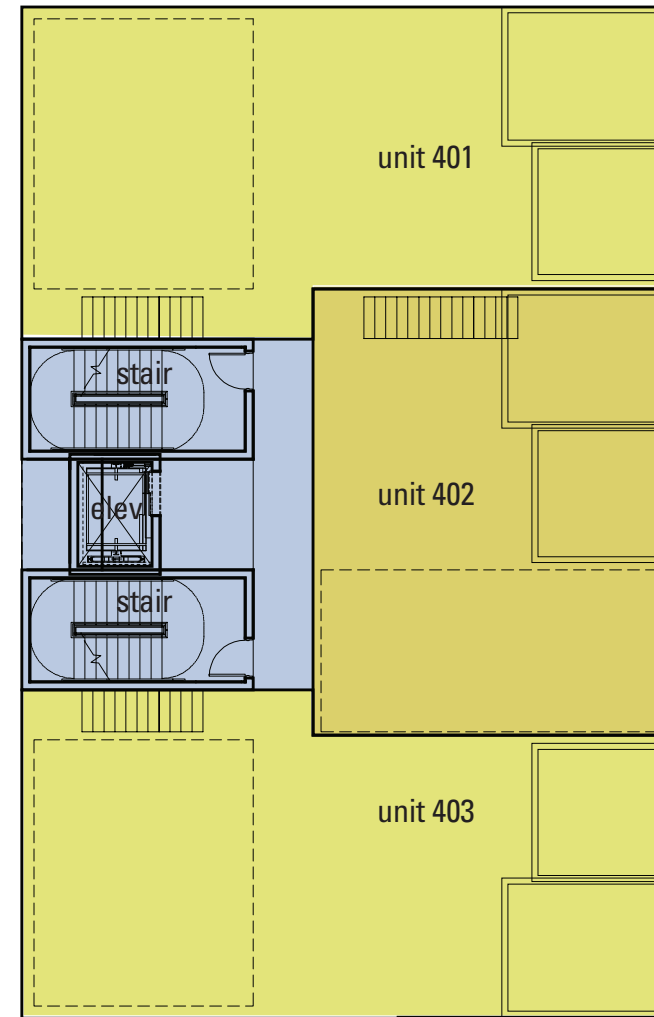


# FLOOR PLANS

- SERVICE
- RESIDENTIAL
- PARKING
- LOBBY



roof



level 04



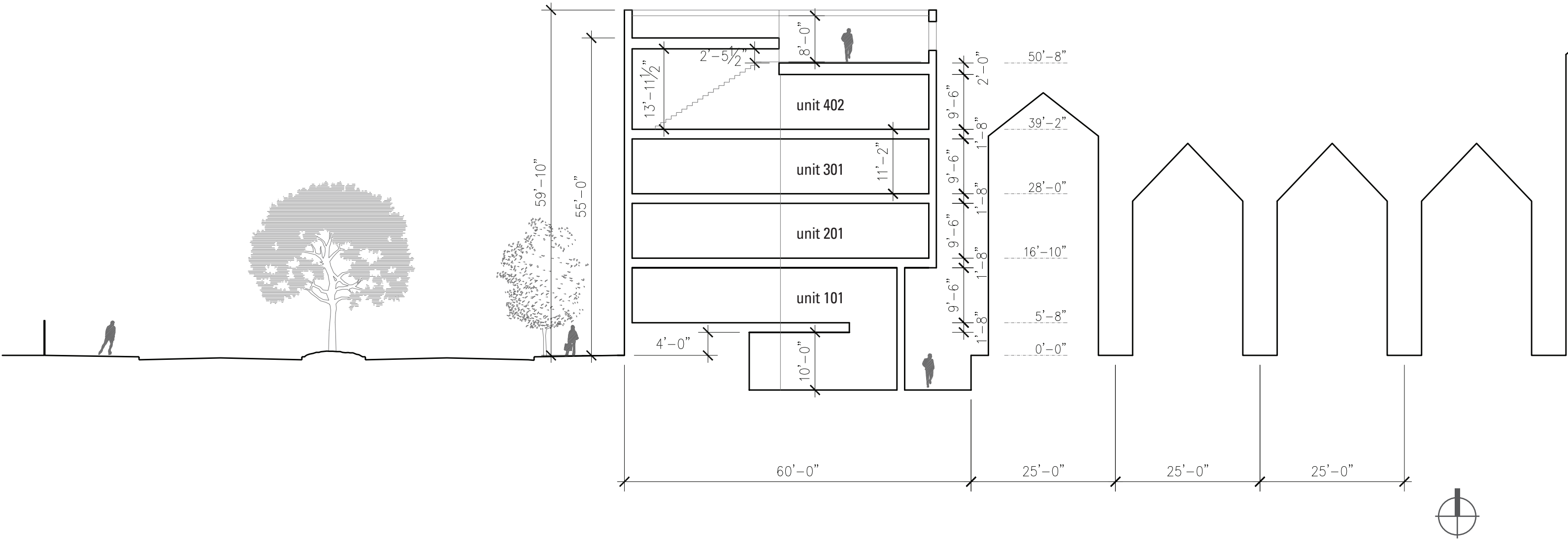
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SCALE : 1/16" = 1'-0"

III-B CONDOMINIUMS



# SECTION



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SCALE : 1/16" = 1'-0"

III-B CONDOMINIUMS



# AREA TABULATION

Residential												
Units												
Flr.	2BR nsf #1	3BR nsf #2	3BR nsf #3	3BR nsf #4	3BR nsf #5	3BR nsf #6	3BR nsf #7	2BR nsf #8	3BR nsf #9	subtotal units/flr	Subtotal new NSF	Subtotal new GSF
mezz							137	221	137	2	495	687
04							1,370	1,106	1,370	2	3,846	4,549
03					1,750	1,750				2	3,500	4,183
02			1,750	1,750						2	3,500	4,183
01	1,173	1,318								1	2,491	3,673
<b>subtotals</b>	<b>1,173</b>	<b>1,318</b>	<b>1,750</b>	<b>1,750</b>	<b>1,750</b>	<b>1,750</b>	<b>1,507</b>	<b>1,327</b>	<b>1,507</b>		<b>13,832</b>	<b>17,275</b>
	<b>9 units</b> 0 Efficiency Units 0% Efficiency Units <b>total sellable 13,832</b> average unit size <b>1,537</b> nsf zoning average unit size 1,919 typ. flr. efficiency 83.67% <b>overall efficiency 80.07%</b> Balcony square footage NA gsf Amenity roof deck (exterior) square footage NA gsf Building common area 3,443 gsf net roof area for building gsf Green roof area for building gsf percentage of green roof gsf											

Required Parking		Surface Parking	
cars	Subtotal GSF	Subtotal GSF	Subtotal GSF
9	0		0
9	0	0	0
sf/car		sf/car	
<b>total cars</b>	<b>9</b>		
	sf/car		0
	cars:unit		1.00
<b>total GSF of parking</b>	<b>0</b>		

Common
Subtotal GSF
192
703
683
683
1,182
<b>3,443</b>

Summary		
Subtotal GSF	Subtotal attributable to FAR	Flr.
687	687	mezz residential
4,549	4,549	04 residential
4,183	4,183	03 residential
4,183	4,183	02 residential
3,673	3,673	01 residential
<b>17,275</b>	<b>17,275</b>	<b>Subtotals</b>
		Crosscheck
<b>TOTAL GSF</b>		<b>17,275</b>
(excl. of balconies and roof decks)		
Approved FAR		3.00
<b>allowable FAR area</b>		<b>22,470</b>
<b>3.5 BONUS</b>		<b>26,215</b>
<b>GSF attributable to FAR area</b>		<b>17,275</b>
ACTUAL FAR		2.31

- PARKING
- LOBBY
- SERVICE
- RESIDENTIAL

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III-B CONDOMINIUMS





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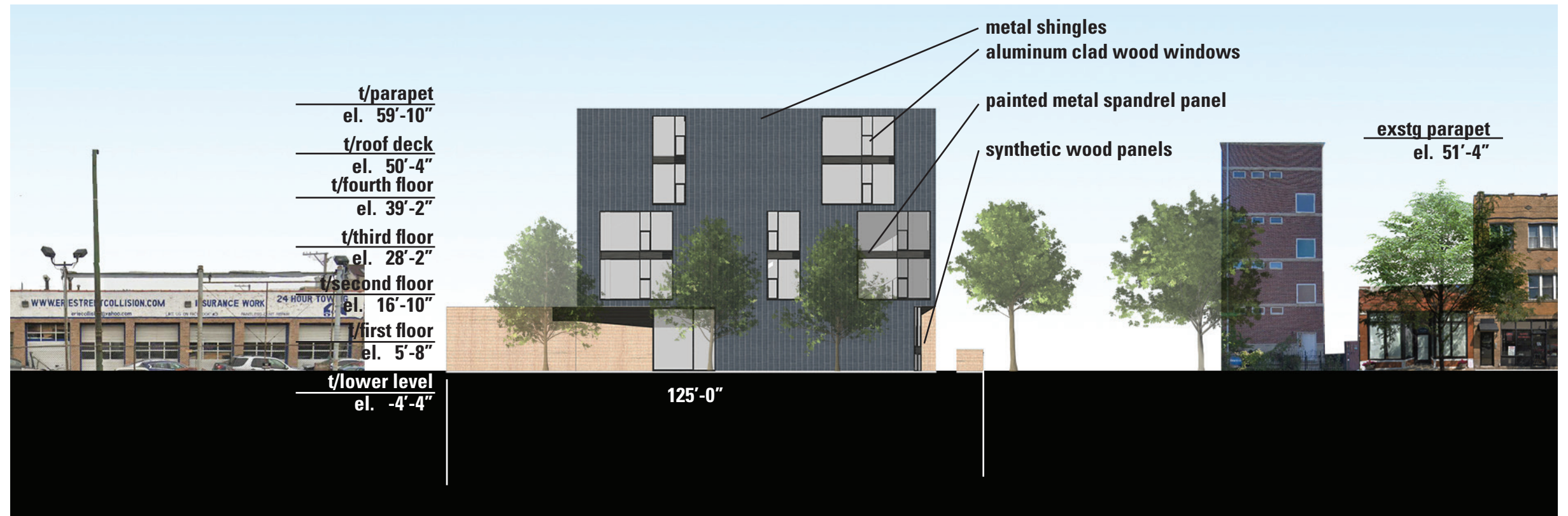


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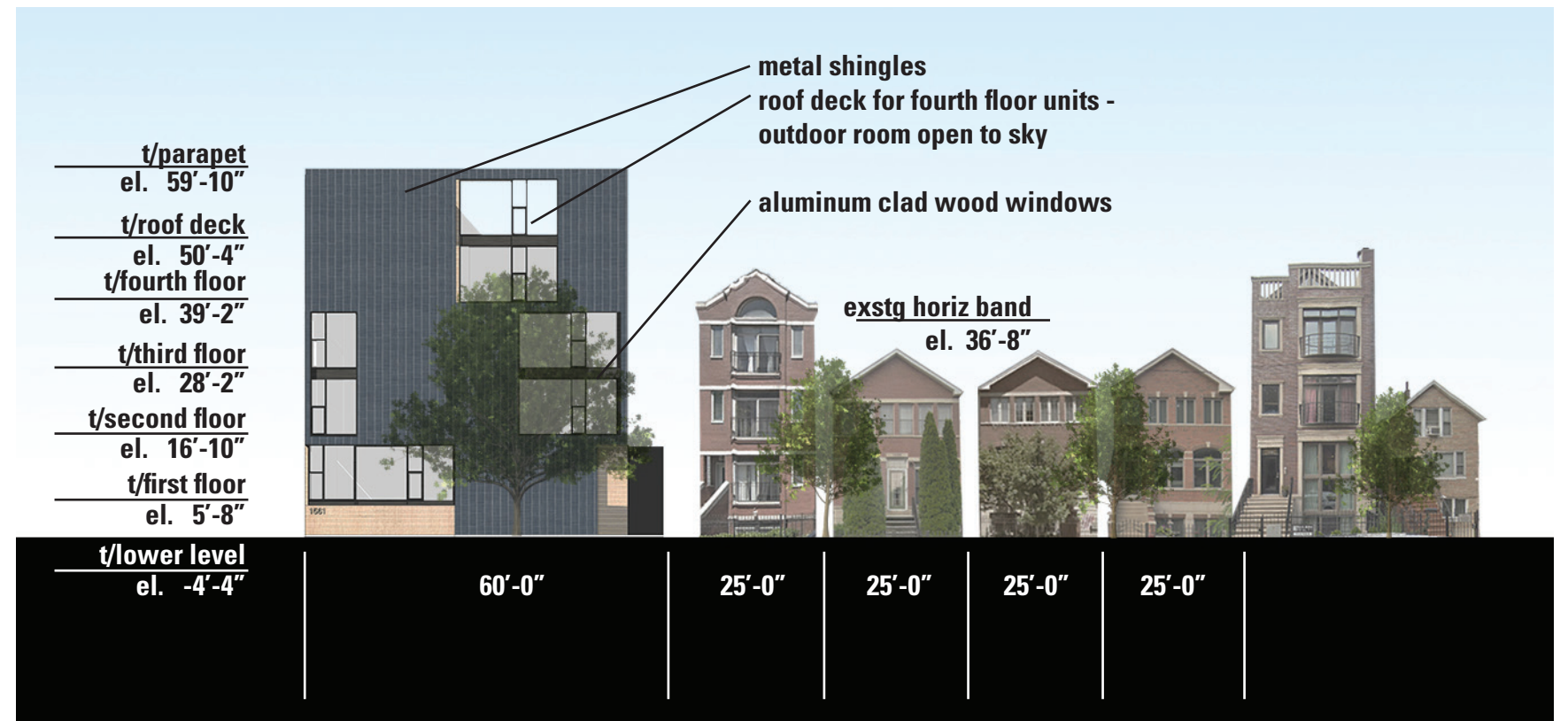
III-B CONDOMINIUMS



# ELEVATIONS



west elevation



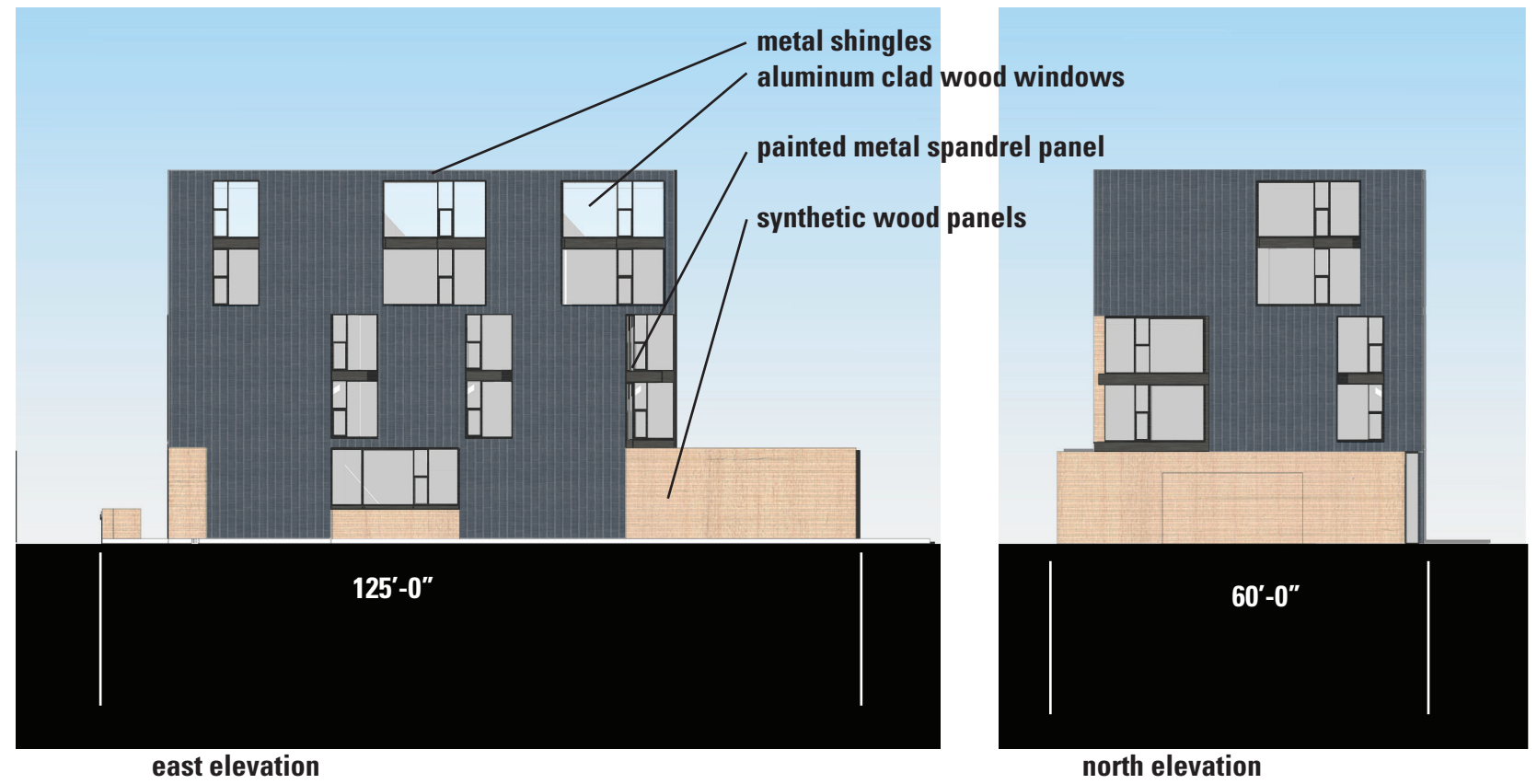
south elevation

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# ELEVATIONS

t/parapet	el. 59'-10"
t/roof deck	el. 50'-4"
t/fourth floor	el. 39'-2"
t/third floor	el. 28'-2"
t/second floor	el. 16'-10"
t/first floor	el. 5'-8"
t/lower level	el. -4'-4"



north elevation

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III-B CONDOMINIUMS

# ZONING

Zoning	Existing Zoning	Proposed Zoning	TOD Bonus Option	Proposed - This Project	Comments
Zone	Split between B3-2 and RS-3	B2-3			
Lot Length		124.7'			
Lot Width		60'			
Lot Area		7490			
MLA/Unit		400/300/200	300/200/135		
Max Units		18	24	<b>9 UNITS</b>	
Maximum Efficiency Units		30%	30%	<b>0 EFFICIENCY UNITS</b>	
Resulting Number of Efficiency Units		varies	varies		
Pedestrian Street?		NA	NA		
FAR		3.00	3.50	<b>2.29</b>	
Max Area		22,470	26,215	<b>17,139</b>	
Front Setback		10.5'	10.5'	<b>10.5'</b>	50% of adjacent R zone if frontage on the same street (21'+/-)
Rear Setback					
floors containing dwelling units		30'	30'	<b>30'</b>	Connected garage + residential at first floor triggers Rear Setback Variation.
Side Setback		6'	6'	<b>6'</b>	Abutting R zone, then R zone side setback applies. 50% of 12'
Building Wall Separation					
front wall facing interior side lot line		12'	12'	<b>12'</b>	
rear wall facing interior side lot line		10% or 12' whichever is less	10% or 12' whichever is less	<b>6'</b>	
facing other front or rear walls		30'	30'	<b>30'</b>	
end walls facing front or rear		20'	20'	<b>20'</b>	
Building Height		60'	65'	<b>58'-10"</b>	ZONING MEASUREMENT (59'-10 TO TOP OF PARAPET)
Minimum Average Dwelling Unit Size		500	500		
On Site Open Space		NA	NA	<b>NA</b>	
TOD Information			on CTA TOD Bus Route - Ashland		
Off Street Parking Residential		1 to 1	50% or 0	<b>9 GARAGE SPACES</b>	TOD options to reduce to 50% or 0
Bicycle Parking Residential		1 per 2 + 1 per spot removed by TOD	1 per 2 + 1 per spot removed by TOD	<b>1 per 2 + 1 per spot removed by TOD</b>	
Accessible Parking		1-50 = 1	1-50 = 1	<b>1-50 = 1</b>	must be a van spot
Off Street Loading		0	0	<b>0</b>	Triggered at 25,000 SF

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III-B CONDOMINIUMS

