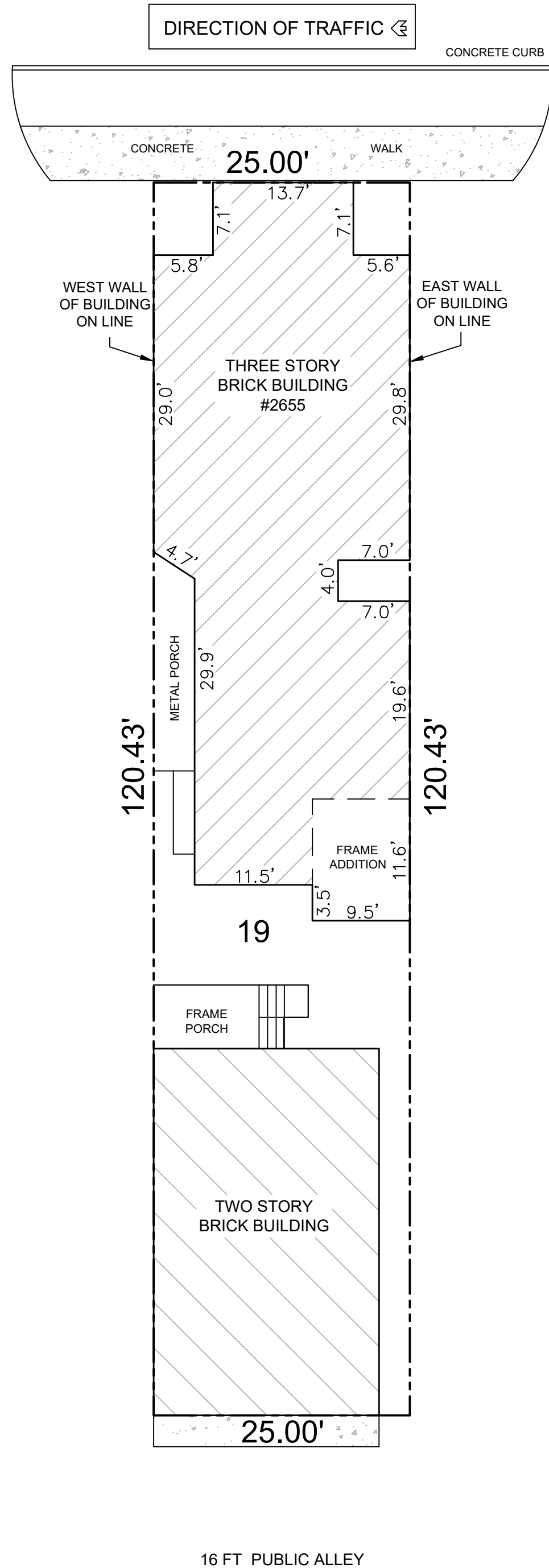


W. HADDON AVENUE



SITE PLAN
SCALE: 3/32"=1'-0"

INTERIOR ALTERATION FOR 7 RESIDENTIAL UNITS, INCLUDING MEP WORK, IN EXISTING 3 STORY BRICK BUILDING WITH BASEMENT, 7 RESIDENTIAL UNITS (2 RESIDENTIAL DU COACH HOUSE NIC) AS PER PLANS AT: 2655 W HADDON AVE.

ABBREVIATIONS

A.B.	ANCHOR BOLT	EXST.	EXISTING	PROVD	PROVIDED
ABV. GRD.	ABOVE GRADE	EXT	EXTERIOR	PS	PLUMBING STACK
ACC.	ACCESSIBLE	F.D.	FLOOR DRAIN	PSF	POUNDS PER SQUARE FOOT
ACT	ACOUSTICAL TILE	F.F.	FINISH FLOOR	PSI	POUNDS PER SQUARE INCH
A.D.	AREA DRAIN	FIN.	FINISH	PSL	PARALLEL STRAND LUMBER
A.F.F.	ABOVE FINISHED FLOOR	FLR	FLOOR	P.T.	PRESSURE TREATED
AFI	ARC FAULT INTERRUPTER	FND'N	FOUNDATION	PTD.	PAINTED
A.F.S.	ABOVE FINISHED SURFACE	FTG	FOOTING	PVC	POLYVINYL CHLORIDE
APT	APARTMENT	FURN.	FURNACE	Q.T.	QUARRY TILE
BLDG	BUILDING	F.W.	FIRE WALL	R	RISER
BLKG	BLOCKING	GFI	GROUND FAULT INTERRUPTER	R.A.	RETURN AIR
B.O.	BOTTOM OF	GL.	GLAZING	REF.	REFRIGERATOR
BR	BEDROOM	GL.BL.	GLASS BLOCK	REG.	REGISTER
BRG	BEARING	GND	GROUND	REQ'D	REQUIRED
BRK.	BRICK	GYP. BD	GYPSUM BOARD	RET.	RETURN
BSMT.	BASEMENT	HC	HOLLOW CORE	RM.	ROOM
BTUH	BRITISH THERMAL UNITS PER HOUR	HDWR	HARDWARE	R.O.	ROUGH OPENING
C	CARBON MONOXIDE DETECTOR	HM	HOLLOW METAL	S	SEALANT
CAB.	CABINET	HR	HOUR	SC.	SOLID CORE
CFM	CUBIC FEET PER MINUTE	HT	HEIGHT	SCFS	SEALED CONCRETE FLOOR
CHEK'D	CHECKERED	HWH	HOT WATER HEATER	S.D.	SMOKE DETECTOR
CLO.	CLOSET	INSUL.	INSULATION	S.F.	SQUARE FEET (FOOT)
CLO.	CLOSET	INT	INTERIOR	SHO	SHOWER
CPT.	CARPET	J.BOX	JUNCTION BOX	SHT.	SHEET
CMU	CONCRETE MASONRY UNIT	KIT.	KITCHEN	SIM.	SIMILAR
CONC.	CONCRETE	KSF	KIP PER SQUARE FOOT	SP	SUMP PUMP
CONST.	CONSTRUCTION	LAV.	LAVATORY	S&P	STAIN & POLYURETHANE
CONT.	CONTINUOUS	LB.	POUND	STL.	STEEL
C.T.	CERAMIC TILE	LBP	LEAD BASED PAINT	STRUCT	STRUCTURAL
C.U.	CONDENSING UNIT	LIN	LINEN CLOSET	T	TREAD
D	DRYER	LIV. RM.	LIVING ROOM	T&B	TOP AND BOTTOM
DBL.	DOUBLE	LL	LIVE LOAD	T.D.	TRAVEL DISTANCE
DIM.	DIMENSION	LVL	LAMINATED VENEER LUMBER	T.GL.	TEMPERED GLASS
DIN. RM.	DINING ROOM	MANUF.	MANUFACTURER	T.O.	TOP OF
DISP.	DISPOSAL	MAT'L	MATERIAL	T&P	TEMPERATURE AND PRESSURE
DL	DEAD LOAD	MAX	MAXIMUM	TJ	TRUSS JOIST
DR	DOOR	MECH.	MECHANICAL	TYP.	TYPICAL
DS.	DOWN SPOUT	MIL	MILLIMETER	UL	UNDERWRITER'S LABORATORY
DTL	DETAIL	MIN.	MINIMUM	VCT	VINYL COMPOSITION TILE
DW	DISHWASHER	M.O.	MASONRY OPENING	VENT	VENTILATION
EA.	EACH	MTD.	MOUNTED	V.I.F.	VERIFY IN FIELD
E.F.	EXHAUST FAN	MTL	METAL	V.T.R.	VENT TO ROOF
EFIS	EXTERIOR FINISH INSULATING SYSTEM	N.I.C.	NOT IN CONTRACT	W	WASHER
ELEC	ELECTRIC	NTS	NOT TO SCALE	W	WITH
ELEV.	ELEVATION	O.C.	ON CENTER	W.C.	WATER CLOSET
EP	EJECTOR PUMP	OCC.	OCCUPANCY	WD	WOOD
EQUIP.	EQUIPMENT	O.H.	OPPOSITE HAND	W/D	WASHER/DRYER
EXH.	EXHAUST	P.C.	PULL CHAIN	WP	WEATHER PROOF
EXP	EXPOSED CONSTRUCTION	PLYWD.	PLYWOOD	WWF.	WELDED WIRE FABRIC

DRAWING LIST

- T-1 TITLE SHEET & SITE PLAN
- G-1 GENERAL NOTES
- D-1 DEMOLITION FLOOR PLANS & NOTES
- A-1 ARCHITECTURAL FLOOR PLANS
- A-2 ARCHITECTURAL NOTES
- M-1 MECHANICAL FLOOR PLANS
- E-1 ELECTRICAL FLOOR PLANS
- P-1 PLUMBING DIAGRAMS & NOTES

SAFETY & LIABILITY NOTICE

THE ARCHITECT HAS NO RESPONSIBILITY FOR SAFETY PROGRAMS OR PROCEDURES AND HAS NO RIGHT TO STOP ANY WORK. JOBSITE SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS.

GANSARI & ASSOCIATES LLC.

4753 N. BROADWAY ST.
SUITE 618
CHICAGO, IL 60640
773.904.7560



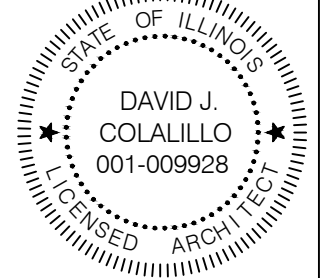
GENERAL NOTES

1. DRAWINGS GENERALLY INDICATE SCOPE OF WORK. EACH CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK TO ENSURE A COMPLETE AND PROPER INSTALLATION OF THEIR WORK. SEE SPECIFICATIONS FOR ADDITIONAL NOTES.
2. ALL WORK SHALL COMPLY WITH CITY OF CHICAGO, STATE AND FEDERAL ORDINANCES HAVING JURISDICTION. NOTHING HEREIN SHALL BE INTERPRETED TO THE CONTRARY. ALL PERMITS AND INSPECTIONS REQUIRED SHALL BE SECURED BY THE CONTRACTOR INVOLVED.
3. EVERY CONTRACTOR AND SUB-CONTRACTOR BY USING THESE PLANS FOR THEIR WORK HEREBY AGREES TO HOLD THE CITY OF CHICAGO, THE OWNER OF RECORD, THE ARCHITECT OF RECORD GANSARI & ASSOCIATES, LLC., INCLUDING THEIR RESPECTIVE EMPLOYEES AND AGENTS, WHILE ACTING WITH THE SCOPE OF THEIR DUTIES, FROM AND AGAINST ANY LIABILITY, CLAIMS, DAMAGES AND THE COST OF DEFENSE, ARISING OUT OF THE CONTRACTORS PERFORMANCE OF THE WORK DESCRIBED IN THESE PLANS AND SPECIFICATIONS, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, ARCHITECT, ENGINEER OR THEIR EMPLOYEES AND AGENTS.

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I CERTIFY THAT I AM REGISTERED ENERGY PROFESSIONAL (REP.). I CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE PLANS FOR 2655 W HADDON AVE FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13 ENERGY CONSERVATION OF THE MUNICIPAL CODE OF CHICAGO, AS EFFECTIVE APRIL 22, 2009 AS WELL AS THE STATE OF ILLINOIS CONSERVATION CODE AS REQUIRED BY STATE LEGISLATION.

SIGNED: *David J. Colalillo* DATE: 02/18/2019
DAVID J. COLALILLO
Illinois License Number: 001-009928 Exp: 11/2020



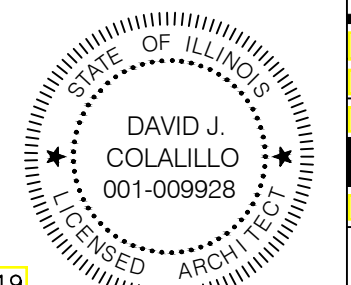
CODE REQUIREMENTS:

2018 ELECTRICAL CODE

CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF CONFORM TO THE CURRENT EDITION OF THE CITY OF CHICAGO BUILDING AND ZONING CODE.

SIGNED: *David J. Colalillo* DATE: 02/18/2019
DAVID J. COLALILLO
Illinois License Number: 001-009928 Exp: 11/2020



**TITLE SHEET
SITE PLAN & NOTES**
2655 W HADDON AVE
CHICAGO, IL 60622

1	
2	
3	
DATE:	2.18.19
DRAWN BY:	C.G.
CHECKED BY:	C.G.
SHEET	

T-1

CORRECTIONS TO PERMIT #100804598,
 INTERIOR ALTERATION FOR 7 RESIDENTIAL UNITS, INCLUDING MEP WORK,
 IN EXISTING 3 STORY BRICK BUILDING WITH BASEMENT, 7 RESIDENTIAL
 UNITS (2 RESIDENTIAL DU COACH HOUSE NIC) AS PER PLANS
 AT: 2655 W HADDON AVE.

CORRECTIONS AND RESPONSES:
 2655 W HADDON AVE.
 100804598

ARCHITECTURAL

ARA0000 - ADMINISTRATIVE ISSUES. DINING AREAS REQUIRE NATURAL LIGHT AND VENTILATION.
RESPONSE: PLEASE SEE NEW WINDOWS FOR BASEMENT APARTMENT. EXISTING WALL TO BE REMOVED, NEW PARAPET WALL TO REMAIN. PLEASE SEE ARCHITECTURAL, DEMOLITION AND MECHANICAL PLANS FOR LAYOUT AND NEW WINDOWS WITH LIGHT AND VENTILATION SCHEDULES.

ELECTRICAL


ELG1378 - PLAN INFORMATION: GENERAL: PROVIDE ELECTRICAL APPLICATION SIGNED BY SUPERVISING ELECTRICIAN 1[14-12-270].
RESPONSE: ELECTRICAL APPLICATION WILL BE PROVIDED.

PLUMBING

PLI2311 INSTALL 2 INCH WATER SERVICE WITH 1/1/2 MTR WITH R@R.
RESPONSE: PLEASE SEE NEW SERVICE AND METER SIZE ON P-1 SHEET.

PLI2311.....INSTALL 35 GPM BOOSTER PUMP.
RESPONSE: PLEASE SEE NEW BOOSTER PUMP ON SUPPLY DIAGRAM, P-1 SHEET.

PLI2311.....INSTALL EXPANSION TANK ON INLET SIDE OY WATER HEATER.
RESPONSE: PLEASE SEE NEW EXPANSION TANK ON P-1 SHEET.



CITY OF CHICAGO
DEPARTMENT OF BUILDINGS
 Certified Corrections Program
 Professionals of Record Certification Statement

All licensed professionals that stamp the plans and make the Department of Buildings' requested code corrections must sign and seal this Certification.

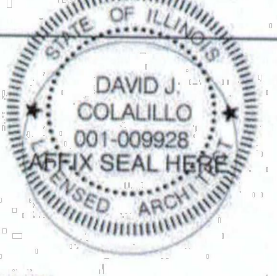
Application Number: # 100804598

Project Address: 2655 W HADDON AVE

Chicago, IL 606 22

I hereby certify that I am the Professional of Record for this Project and to the best of my knowledge, I have personally made all requested code corrections to the plans sets as reflected on the attached correction sheet.

ARCHITECT: Signature: <u><i>David J. Colalillo</i></u> Printed Name: <u>DAVID J. COLALILLO</u> Address: <u>4753 N BROADWAY, CHICAGO IL 60640</u> Dated: <u>0.18.19</u>	STRUCTURAL ENGINEER: Signature: _____ Printed Name: _____ Address: _____ Dated: _____
--	---




DAVID J. COLALILLO
001-009928
AFFIX SEAL HERE

AFFIX SEAL HERE

HVAC CONSULTANT: (PROFESSIONAL ENGINEER) Signature: _____ Printed Name: _____ Address: _____ Dated: _____	PLUMBING CONSULTANT: (PROFESSIONAL ENGINEER) Signature: _____ Printed Name: _____ Address: _____ Dated: _____
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AFFIX SEAL HERE

AFFIX SEAL HERE

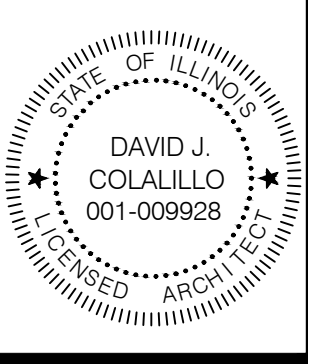


SAFETY & LIABILITY NOTICE

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GANSARI & ASSOCIATES LLC.

4753 N. BROADWAY ST.
 SUITE 618
 CHICAGO, IL 60640
 773.904.7560



CORRECTIONS SHEET

2655 W HADDON AVE
 CHICAGO, IL 60622

1	▲
2	▲
3	▲

DATE: 2.18.19
 DRAWN BY: C.G.
 CHECKED BY: C.G.

SHEET

CS-1

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL VISIT AND INSPECT THE SITE TO FAMILIARIZE ONESELF WITH THE JOB CONDITIONS PRIOR TO BIDDING AND WORK COMMENCEMENT. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING WORK THAT IS REQUIRED FOR THE PROJECT.
2. CONTRACTOR IS TO THOROUGHLY EXAMINE ALL LOCATIONS WHERE NEW WORK IS TO BE INSTALLED AND WHERE ANY EXISTING CONSTRUCTION IS TO BE REMOVED OR MODIFIED.
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING STRUCTURE CONDITIONS/DIMENSIONS AND REPORT ANY DISCREPANCIES, OMISSIONS, OR CONFLICTS TO THE ARCHITECT IMMEDIATELY IN WRITING BEFORE WORK COMMENCEMENT.
4. SCOPE OF DEMOLITION WORK IS TO INCLUDE, BUT NOT BE LIMITED TO, ALL DEMOLITION,

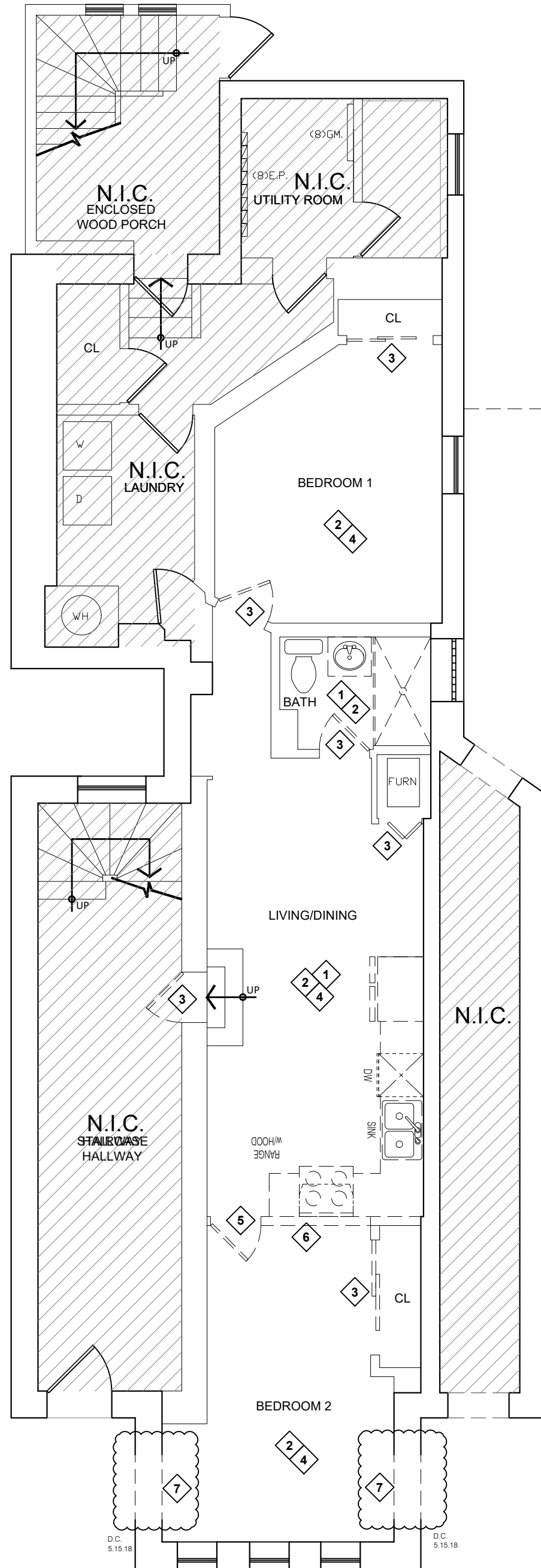
5. CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIAL AND LABOR TO FULLY COMPLY WITH THE SCOPE OF WORK, WHETHER OR NOT SPECIFIED OR SHOWN IN THE PERMIT DOCUMENTS.
6. CONTRACTOR SHALL NOTIFY ALL APPLICABLE ENGINEERING DEPARTMENTS AND UTILITIES A MINIMUM OF 72 HOURS IN ADVANCE OF ANY DEMOLITION WORK. CONTRACTOR SHALL FOLLOW ALL NECESSARY PRECAUTIONS TO PROTECT AND MAINTAIN EXISTING UTILITIES.
7. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES THE SHUTTING OFF OF UTILITIES PRIOR TO DEMOLITION. CONTRACTOR SHALL CLEARLY IDENTIFY ALL UTILITIES THAT

8. CAP OFF ALL PLUMBING LINES TO FIXTURES BEING REMOVED.
9. CONTRACTOR TO STRICTLY ADHERE TO THE CITY OF CHICAGO BUILDING CODE, ALL OTHER GOVERNING CODES, AND OSHA REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE EXECUTION OF ALL WORK.
10. CONTRACTOR SHALL INFILL OPENINGS CREATED BY THE REMOVAL OF PIPES, CONDUITS, DUCTWORK, ETC. WITH MATERIALS TO MATCH EXISTING CONSTRUCTION AND TO MAINTAIN REQUIRED FIRE RATINGS.
11. CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS, ETC. CAUSED BY THIS WORK AS

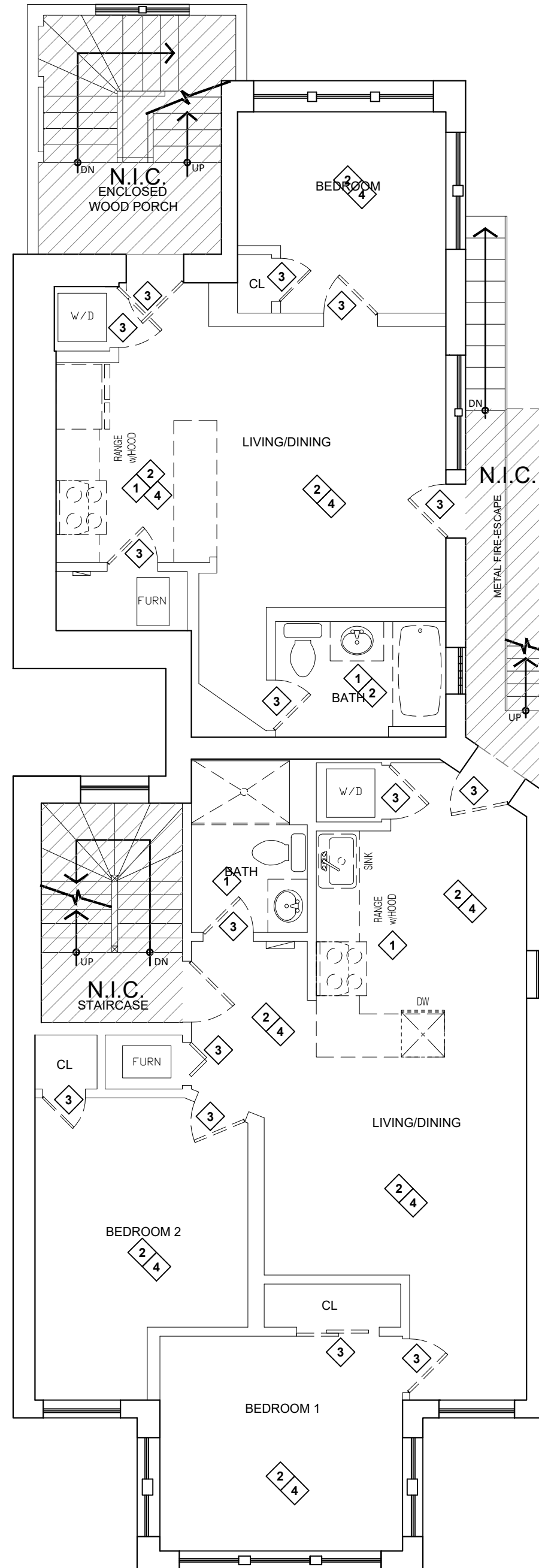
12. CONTRACTOR SHALL VERIFY AND COORDINATE PLACEMENT OF DUMPSTERS WITH OWNER AND IN ACCORDANCE WITH REQUIREMENTS OF THE CITY OF CHICAGO.
13. CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY ITEMS OR EQUIPMENT TO BE SALVAGED PRIOR TO DEMOLITION.
14. CONTRACTOR MUST COMPLY WITH THE INSURANCE/HOLD HARMLESS REQUIREMENTS PRIOR TO THE START OF ANY WORK.
15. NO WORK SHALL BEGIN UNTIL THE ARCHITECT IS HELD HARMLESS FOR ALL WORK SHOWN AND ANY PROBLEMS THAT ARISE BEFORE, DURING, AND/OR AFTER CONSTRUCTION.
16. REFER TO SHEET G-1 FOR ADDITIONAL NOTES.

DEMOLITION KEY NOTES

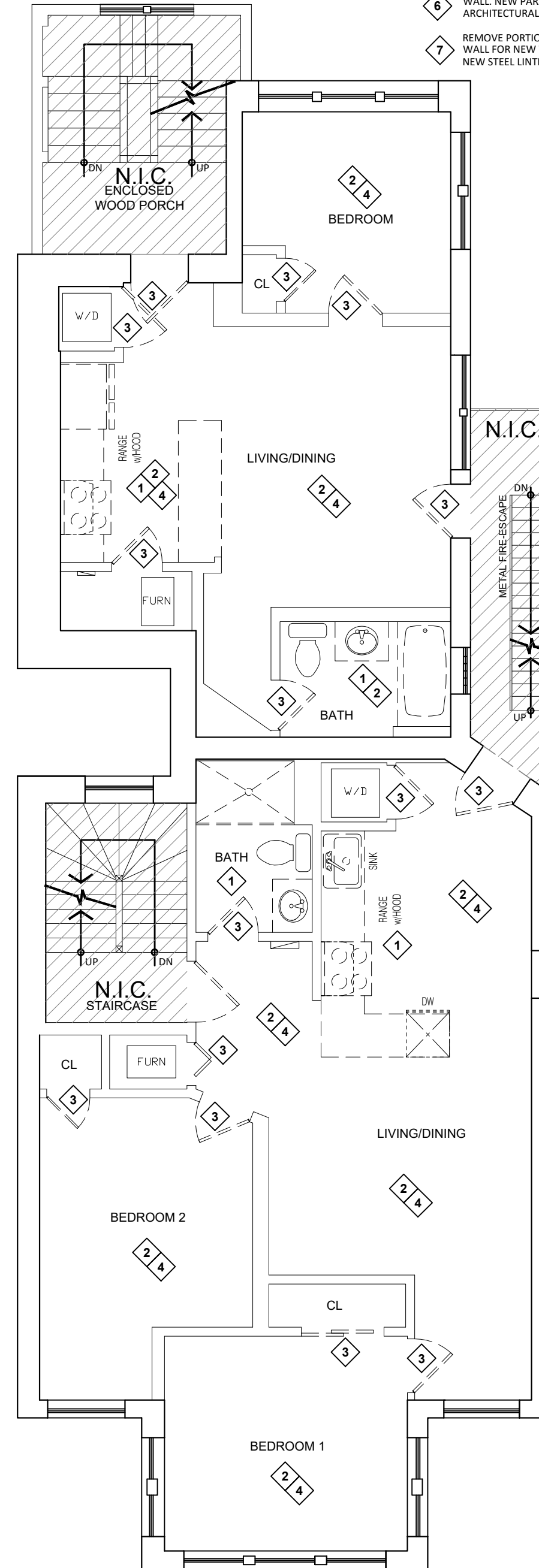
- 1 REMOVE AND REPLACE ALL KITCHEN AND/OR BATH CABINETRY, FIXTURES, APPLIANCES AND TILES
- 2 REMOVE AND REPLACE EXISTING ELECTRICAL IN KIND
- 3 REMOVE AND REPLACE EXISTING DOOR AND FRAME, REPLACE WITH NEW, SAME SIZE SAME LOCATION.
- 4 REMOVE AND REPLACE EXISTING HARDWOOD FLOOR AND TRIMS.
- 5 REMOVE INTERIOR DOOR.
- 6 REMOVE PORTION OF THE EXISTING INTERIOR WALL, NEW PARAPET WALL TO REMAIN, AS PER ARCHITECTURAL DRAWINGS.
- 7 REMOVE PORTION OF THE EXISTING BRICK WALL FOR NEW WINDOW OPENING. INSTALL NEW STEEL LINTEL AS PER PLANS.



DEMO. BSMT. PLAN
3/16" = 1'-0"



DEMO 1ST FL PLAN
3/16" = 1'-0"



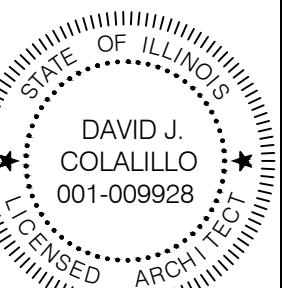
DEMO. TYP FL PLAN
3/16" = 1'-0"

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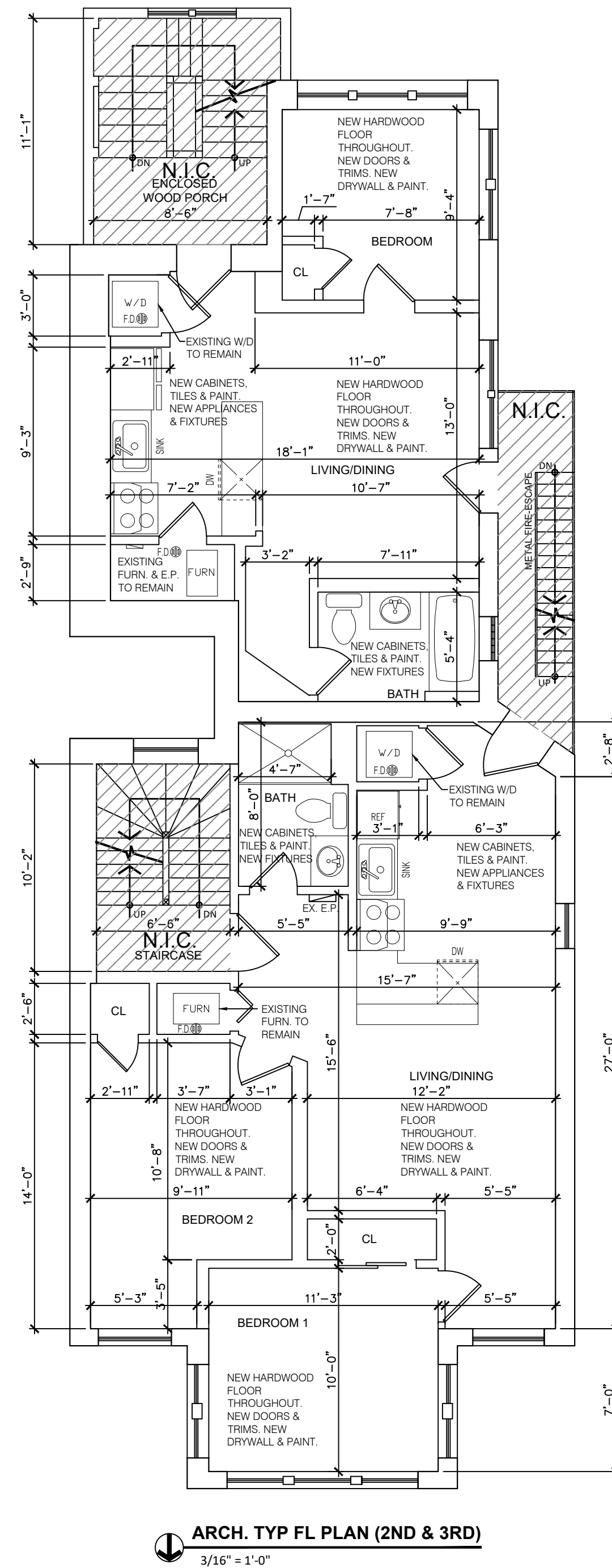
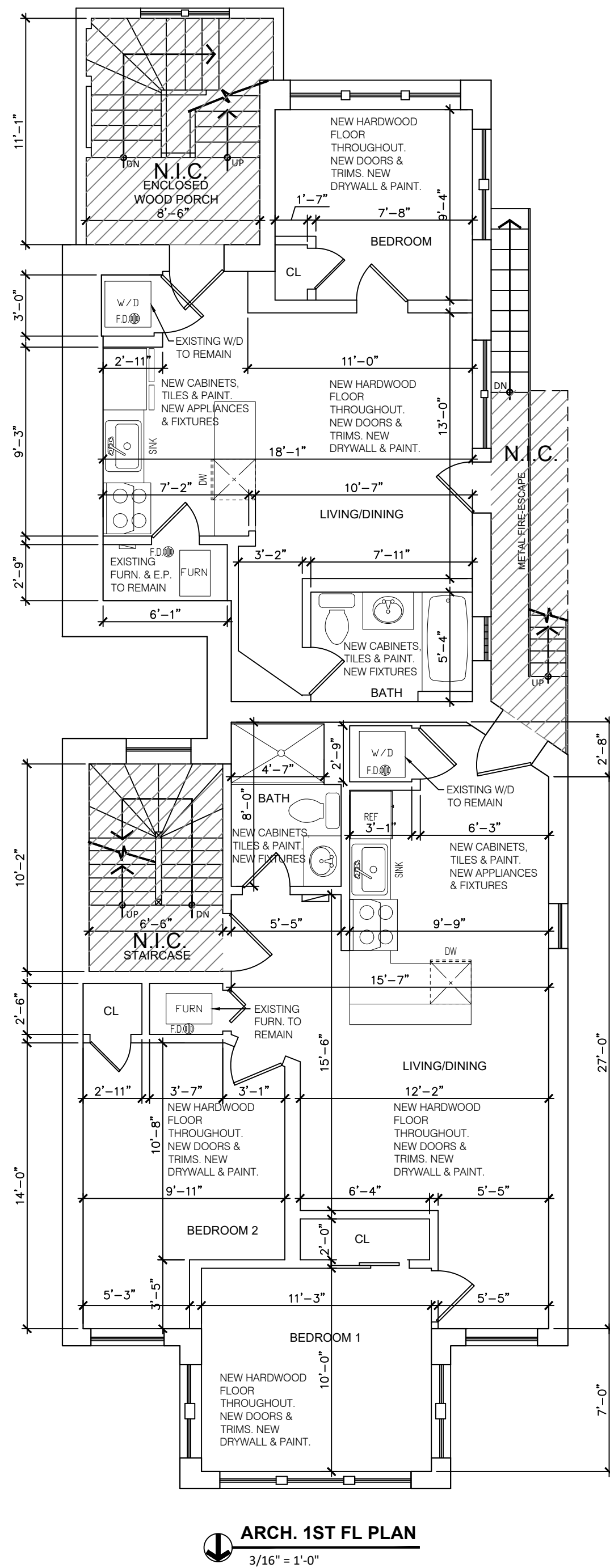
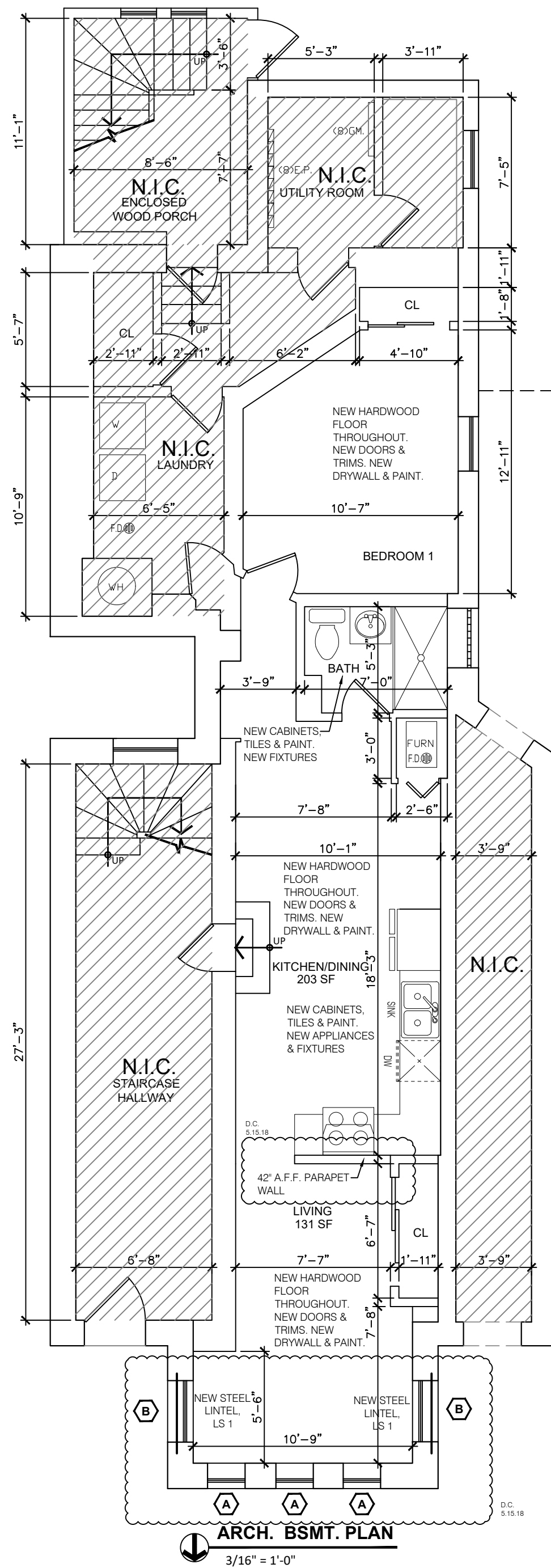


DEMOLITION FLOOR PLANS & NOTES
2655 W HADDON AVE
CHICAGO, IL 60622

1A	
2A	
3A	

DATE: 2.18.19
DRAWN BY: C.G.
CHECKED BY: C.G.

SHEET

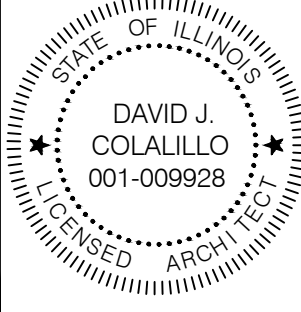


SAFETY & LIABILITY NOTICE

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GANSARI & ASSOCIATES LLC.

4753 N. BROADWAY ST.
SUITE 618
CHICAGO, IL 60640
773.904.7560



ARCHITECTURAL FLOOR PLANS
2655 W HADDON AVE
CHICAGO, IL 60622

1A	
2A	
3A	
DATE:	2.18.19
DRAWN BY:	C.G.
CHECKED BY:	C.G.
SHEET	

CHICAGO GENERAL NOTES

ALL INTERIOR FINISHES TO BE CLASS 1, 0-25 FLAME SPREAD RATING.

GLAZING AT ALL DOORS TO BE SAFETY TEMPERED GLASS.

ALL GLAZING BELOW 2'-0" FROM FINISHED FLOOR SHALL BE SAFETY TEMPERED GLASS.

ALL CONTRACTORS SHALL VISIT THE SITE PRIOR TO BIDDING AND NOTE WITHIN THEIR BID PACKAGE, ANY AND ALL DISCREPANCIES WITH THESE BASE DRAWINGS. NO CHANGE ORDERS WILL BE HONORED EXCEPT FOR THE FOLLOWING.

- 1. OWNER REQUESTED REVISIONS
- 2. HIDDEN OR CONCEALED PROBLEMS

ALL WORK SHALL BE COMPLETE AND FUNCTIONAL AND MEET THE OWNERS, ARCHITECTS AND CITY APPROVAL OF THE WORK SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.

ALL CONTRACTORS ARE RESPONSIBLE FOR EXECUTING WORK IN COMPLIANCE WITH ANY AND ALL APPLICABLE CODES AND ORDINANCES.

DIMENSIONS ARE TO FINISHES UNLESS NOTED OTHERWISE.

ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS 1, 0-25 FLAME SPREAD RATING.

ALL FLOOR COVERINGS SHALL HAVE A FLAME SPREAD RATING OF 75 OR BETTER.

GENERAL CONTRACTOR TO REVIEW ALL INTERIOR FINISHES WITH OWNER PRIOR TO ORDERING MATERIAL.

WATER RESISTANT GYPSUM BOARD SHALL BE USED THROUGHOUT BATHROOMS, BEHIND KITCHEN SINKS AND ALL OTHER WET LOCATIONS.

ALL CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN PENETRATIONS THROUGH BRICK, CONCRETE, WOOD, FOUNDATION WALLS, ETC. CORING IS THE APPROVED. DAMAGE WILL BE BACK CHARGED ACCORDINGLY.

VERIFY TUB ROUGH FRAMING DIMENSIONS WITH SELECTED TUB MANUFACTURER AND ADJUST ACCORDINGLY.

PROVIDE ROD AND SHELF AT ALL CLOSETS UNLESS NOTED OTHERWISE.

COORDINATE FLOOR AND FRAMING LAYOUT WITH PLUMBING AND HVAC WORK TO AVOID INTERFERENCE.

ALL MASONRY OPENINGS ARE TO BE INTERPRETED AS NOMINAL DIMENSIONS. CONTRACTOR SHALL VERIFY ACTUAL MASONRY OPENING WITH WINDOW, AND DOOR MANUFACTURER ACCORDINGLY.

ROOF CONSTRUCTION- PROVIDE R-49 INSULATION OF ROOF.

ANYWHERE INTERIOR FINISH OF EXTERIOR WALLS IS REMOVED, INSULATE WALLS WITH R-19 INSULATION TO MEET CODE REQR.

HARDWARE NOTES

ALL UTILITY ROOM DOORS TO HAVE KEYED ENTRY LOCK AND SURFACE MOUNTED CLOSERS.

ALL EXIT DOORS ARE KEYLESS IN THE DIRECTION OF EGRESS.

ALL UNIT ENTRY DOORS TO HAVE KEYED ENTRY LOCKS, DEADBOLTS AND SURFACE MOUNTED CLOSERS.

ALL BATHROOM DOORS TO HAVE PRIVACY LOCKS.

ALL OTHER SWING DOORS TO HAVE PASSAGE SETS.

ALL BI-FOLD DOORS TO HAVE HEAVY DUTY TRACKS.

BUILDING EXTERIOR ENTRY DOORS AND VESTIBULE DOORS TO HAVE KEYED ENTRY LOCK, ELECTRIC STRIKE WIRE TO INTERCOM, PANIC HARDWARE AND SURFACE MOUNTED CLOSERS.

COORDINATE ALL KEYING WITH OWNER.

OWNER TO SPECIFY HARDWARE MANUFACTURER.

EGRESS NOTES

ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO BE READILY OPENED WITHOUT THE USE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.

CHICAGO ENERGY CODE NOTES

1. THE SCOPE OF WORK IS IN AN EXISTING RESIDENTIAL BUILDING LAWFULLY IN EXISTENCE AT THE TIME OF ADOPTION OF THE INTERNATIONAL ENERGY CONSERVATION CODE OF THE CITY OF CHICAGO.

2. THE FOLLOWING NEED NOT COMPLY PROVIDED THE ENERGY USE OF THE BUILDING IS NOT INCREASED.

- a. STORM WINDOWS INSTALLED OVER EXISTING FENESTRATION.
- b. GLASS-ONLY REPLACEMENTS IN AN EXISTING SASH AND FRAME.
- c. EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION, PROVIDED THESE CAVITIES ARE FILLED WITH INSULATION.
- d. CONSTRUCTION WHERE THE EXISTING ROOF, WALL OR FLOOR CAVITY IS NOT EXPOSED. SEE SHEET A3 FOR SCHEDULES.

WINDOW SCHEDULE

SYMBOL: 

MARK	WIDTH	HEIGHT	LIGHT SQ FT	VENT SQ FT	NOTE
A	1'-8"	4'-2"	5.64	5.64	EXISTING WINDOWS
B	3'-0"	4'-2"	10.03	5.01	NEW DOUBLE-HANG

STEEL LINTEL SCHEDULE

SIZE

MAX. SPAN

LS1	4 x 3 x 1/4"	4'-6"
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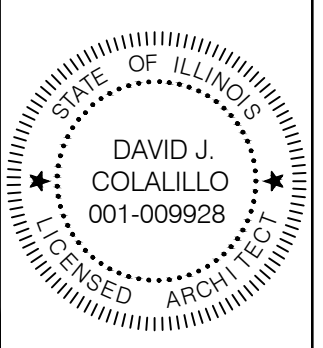
D.C.
5.15.18

SAFETY & LIABILITY NOTICE

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GANSARI & ASSOCIATES LLC.

4753 N. BROADWAY ST.
SUITE 618
CHICAGO, IL 60640
773.904.7560



ARCHITECTURAL NOTES

2655 W HADDON AVE
CHICAGO, IL 60622

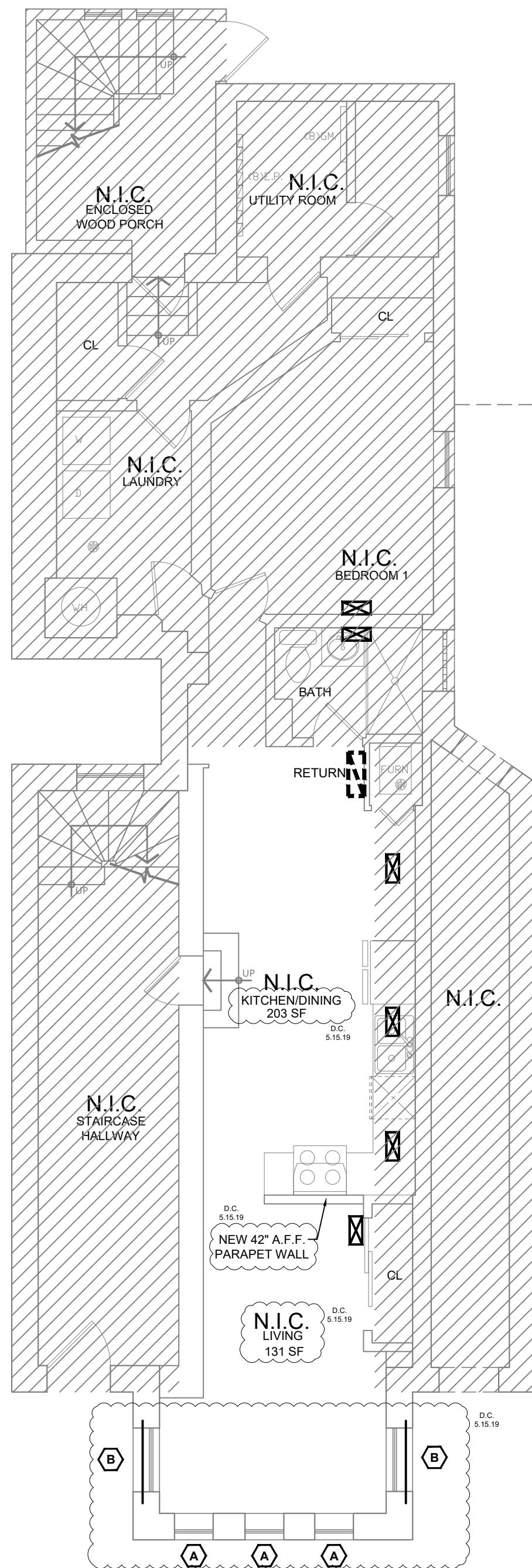
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DATE: 2.18.19

DRAWN BY: C.G.

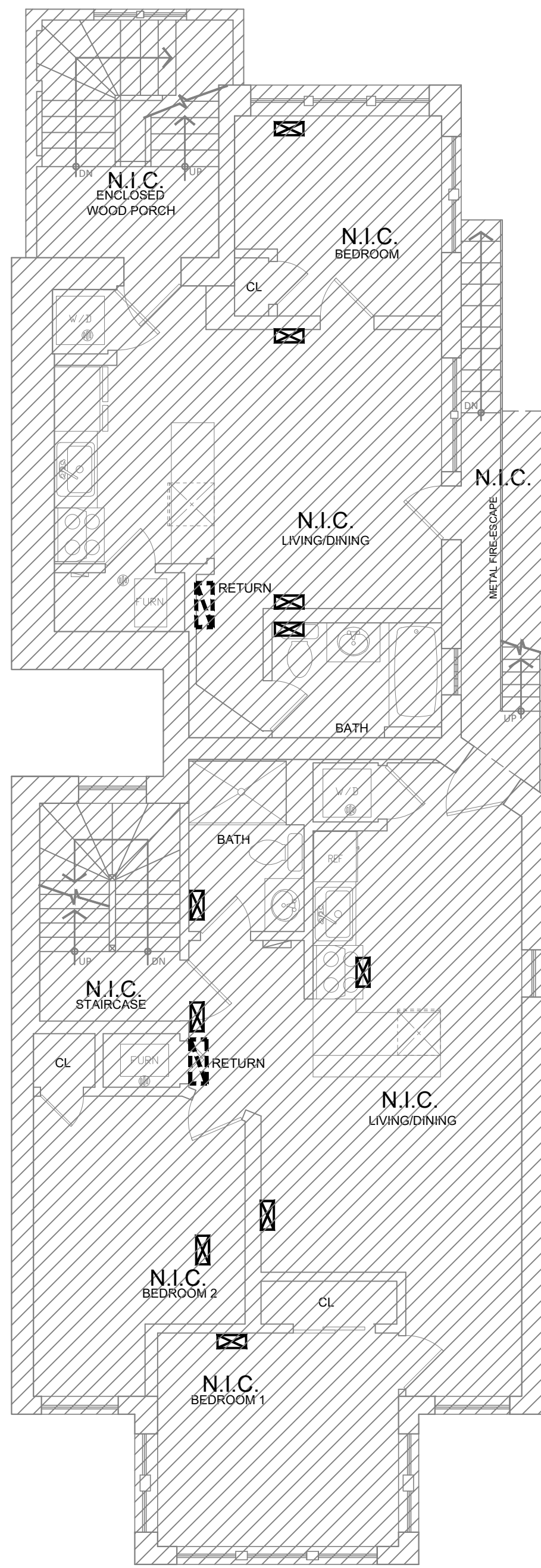
CHECKED BY: C.G.

SHEET



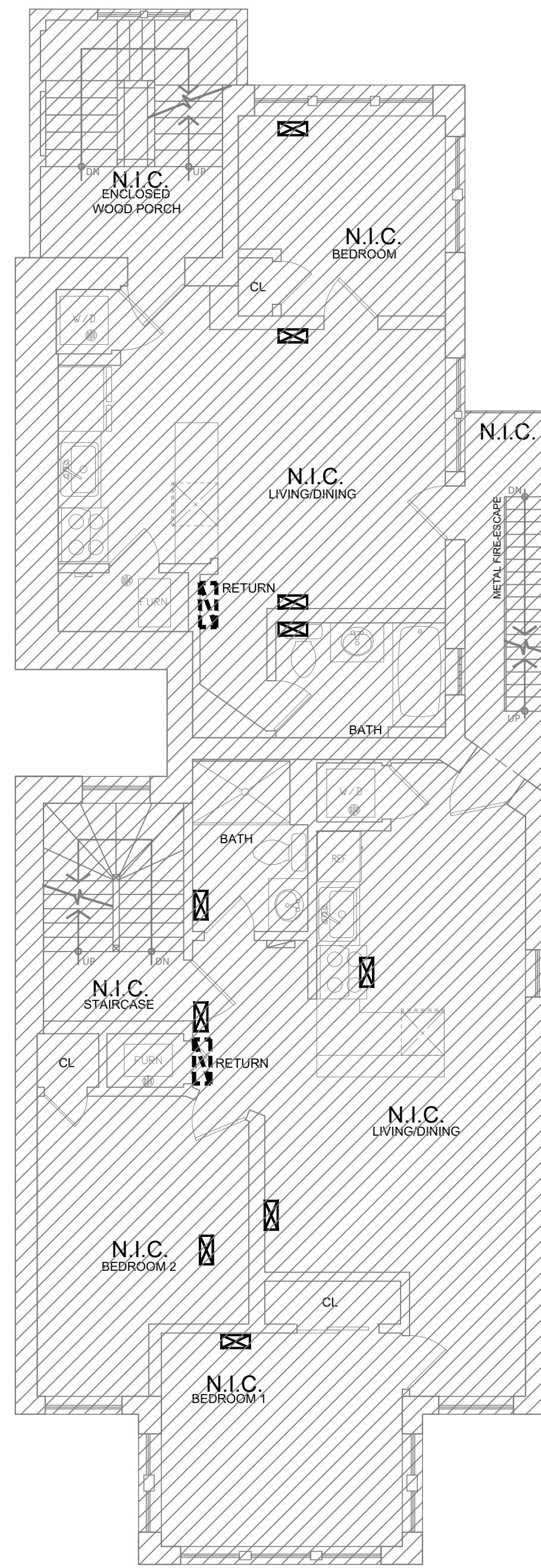
ARCH. BSMT. PLAN
3/16" = 1'-0"

EXISTING ARCHITECTURAL LAYOUT TO REMAIN AS IS. NO LIGHT AND VENT CHANGES. EXISTING MECHANICAL DUCTWORK AND GRILLS TO REMAIN



MECH. 1ST FL PLAN
3/16" = 1'-0"

EXISTING ARCHITECTURAL LAYOUT TO REMAIN AS IS. NO LIGHT AND VENT CHANGES. EXISTING MECHANICAL DUCTWORK AND GRILLS TO REMAIN



MECH. TYP FL PLAN (2ND & 3RD)
3/16" = 1'-0"

EXISTING ARCHITECTURAL LAYOUT TO REMAIN AS IS. NO LIGHT AND VENT CHANGES. EXISTING MECHANICAL DUCTWORK AND GRILLS TO REMAIN

LIGHT & VENTILATION SCHEDULE									
ROOM NAME	FLOOR AREA SQ. FT.	ORDINANCE REQUIREMENTS			PLAN REQUIREMENTS (ACTUAL)			EF #	FURNACE
		GLASS AREA SQ. FT.	VENT AREA SQ. FT.	AIR SUPPLY CFM	GLASS AREA SQ. FT.	VENT AREA SQ. FT.	AIR SUPPLY CFM		
DUPLEX (BSMT & 1ST FLOOR)									
LIVING AREA	131	26.72	13.36	-	-	36.98	18.49	per dwg	
KITCHEN/ DINING AREA	203							per dwg	

SAFETY & LIABILITY NOTICE

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GANSARI & ASSOCIATES LLC.

4753 N. BROADWAY ST.
SUITE 618
CHICAGO, IL 60640
773.904.7560



MECHANICAL FLOOR PLANS
2655 W HADDON AVE
CHICAGO, IL 60622

1A	
2A	
3A	

DATE: 2.18.19
DRAWN BY: C.G.
CHECKED BY: C.G.

SHEET

SYMBOL LEGEND			
	PANEL BOARD W/ CIRCUIT BREAKERS		C.L.G. CONDUIT
	LT - FLUORESCENT LIGHT OVER KITCHEN SINK		HOME RUN TO PANEL
	TRACK LIGHT		EXHAUST FAN WITH C.L.G. LIGHT
	FLUORESCENT LIGHT AIRRIGHT		CEILING FAN/LIGHTS
	WALL INCANDESCENT		EMERGENCY BATTERY BACKUP (FOR EMERGENCY LIGHT)
	RECESSED LIGHT		EMERGENCY LIGHT
	CEILING INCANDESCENT		TO PUBLIC PANEL (TYP)
	EMERGENCY LIGHT		SMOKE HEAD ONLY (FOR EMERGENCY LIGHT)
	DUPLEX RECEPTACLE		CARBON MONOXIDE DETECTOR
	SWITCHED DUPLEX RECEPTACLE		JUNCTION BOX
	DUPLEX RECEPTACLE W/ GROUND FAULT PROTECTION		SMOKE DETECTOR - WITHIN 10'-0" OF ALL BEDROOMS (TYP. HARDWIRED)
	DUPLEX RECEPTACLE W/ GROUND FAULT PROTECTION		CARBON MONOXIDE DETECTOR - WITHIN 40'-0" OF ALL BEDROOMS
	DUPLEX RECEPTACLE ARC FAULT INTERRUPTER (TYP. FOR ALL BEDROOMS)		TV OUTLET
	QUADRUPLUX RECEPTACLE		PHONE JACK
	JUNCTION BOX		COMPUTER DATA
	SMOKE DETECTOR - WITHIN 10'-0" OF ALL BEDROOMS (TYP. HARDWIRED)		FLOOR OUTLET
	CARBON MONOXIDE DETECTOR - WITHIN 40'-0" OF ALL BEDROOMS		LIGHT SWITCH
	LIGHT SWITCH		LIGHT SWITCH - 3 WAY
	LIGHT SWITCH		LIGHT WAY TO EXIT

ELECTRICAL NOTES:

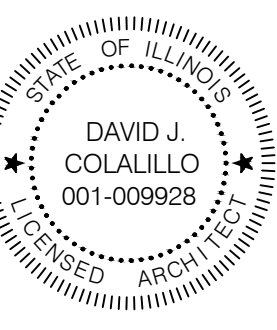
- EXISTING SERVICE TO BE UTILIZED IF POSSIBLE, NEW ELECTRIC LOAD DEMAND AS SHOWN ON DRAWINGS. EXISTING ELECTRIC PANELS TO BE INSPECTED. NEW ELECTRIC SERVICE TO BE PROVIDED IF NECESSARY WITH ALL NECESSARY PANELS ETC. TO ELECTRIC ROOM INDICATED ON PLANS. CONTRACTOR TO COORDINATE WITH COM-ED.
- ELECTRICAL CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- ELECTRICAL CONTRACTOR SHALL FOLLOW LATEST EDITION OF THE CITY OF CHICAGO 2018 ELECTRICAL CODE.
- CONTRACTOR SHALL CALL FOR ALL ROUGH-IN AND FINAL INSPECTIONS REQUIRED.
- ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL (FOR ALL WORK DESIGNATED AS HIS RESPONSIBILITY) ALL WIRE, WIREWAY, CONDUIT, CONNECTORS, OUTLETS, ETC., NECESSARY TO ACHIEVE A COMPLETE ELECTRICAL INSTALLATION. WHERE AN ELECTRICAL DEVICE AND/OR DISCONNECT SWITCH IS REQUIRED BY CODE BUT NOT SHOWN, IT SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR AS THOUGH FULLY SHOWN AND SPECIFIED.
- CONDUITS FOR CABLE TV TO BE PROVIDED. ALL CONDUITS TO THE OUTSIDE COMMUNICATION AND TV PANELS TO BE RUN CONCEALED. LOCATE PANEL AT SAME AREA AS ELECTRIC PANEL.
- ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ALL NECESSARY WIRING FOR TELEPHONE INSTALLATION AND CONNECTION. BRING ALL TELEPHONE LINES TO LOCATION OF PANEL ESTABLISHED BY THE PHONE COMPANY AND PERMANENTLY LABELED WITH APPROPRIATE DESIGNATIONS. LOCATE PANEL AT SAME AREA AS THE ELECTRIC PANEL.
- CONDUIT INSTALLED ON OR BELOW GRADE, ON THE EXTERIOR OF THE BUILDING OR EXPOSED TO THE WEATHER SHALL BE RIGID GALVANIZED OR INTERMEDIATE METAL CONDUIT.
- ALL CIRCUITS FROM THE SUB PANELS TO BE PULLED IN 1/2" CONDUIT MINIMUM WITH # 14 AND #12 WIRE.
- ALL 120 VOLT RECEPTACLES TO BE IN BONDED RACEWAY. 120 VOLT RECEPTACLES WITHIN SIX FEET OF SINKS OR WET AREAS TO BE GROUND FAULT CIRCUIT INTERRUPTION PROTECTED (GFI).
- PROVIDE DOOR ENTRY SYSTEM FOR BUILDING.
- PROVIDE AND INSTALL ALL ELECTRICAL HOOK-UPS NECESSARY FOR HVAC CONTRACTOR. HVAC FEEDERS AND DISCONNECT SWITCH SIZES SHOULD BE REFERRED TO MANUFACTURERS SPECIFIED EQUIPMENT REQUIREMENTS. REFER TO THE HVAC DRAWINGS AND PUBLISHED INFORMATION OF THE MECHANICAL EQUIPMENT. THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY THE EXACT REQUIREMENTS.
- ALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS TO BE HARD WIRED TO 110 V ELECTRICAL SYSTEM.
- CONTRACTOR TO PROVIDE AND INSTALL LIGHT BULBS FOR ALL LIGHT FIXTURES.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL OF ANY LEFT OVER MATERIAL OR RUBBISH CAUSED BY ANY ELECTRICAL INSTALLATION. ALL RUBBISH SHALL BE REMOVED OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
- ALL ELECTRICAL TRIM WORK INCLUDING SWITCHES, OUTLETS, EXHAUST FANS, ETC., TO BE CONSISTENT IN COLOR AND DESIGN THROUGHOUT THE PROJECT.
- REFER TO SHEET G-1 FOR ADDITIONAL NOTES.

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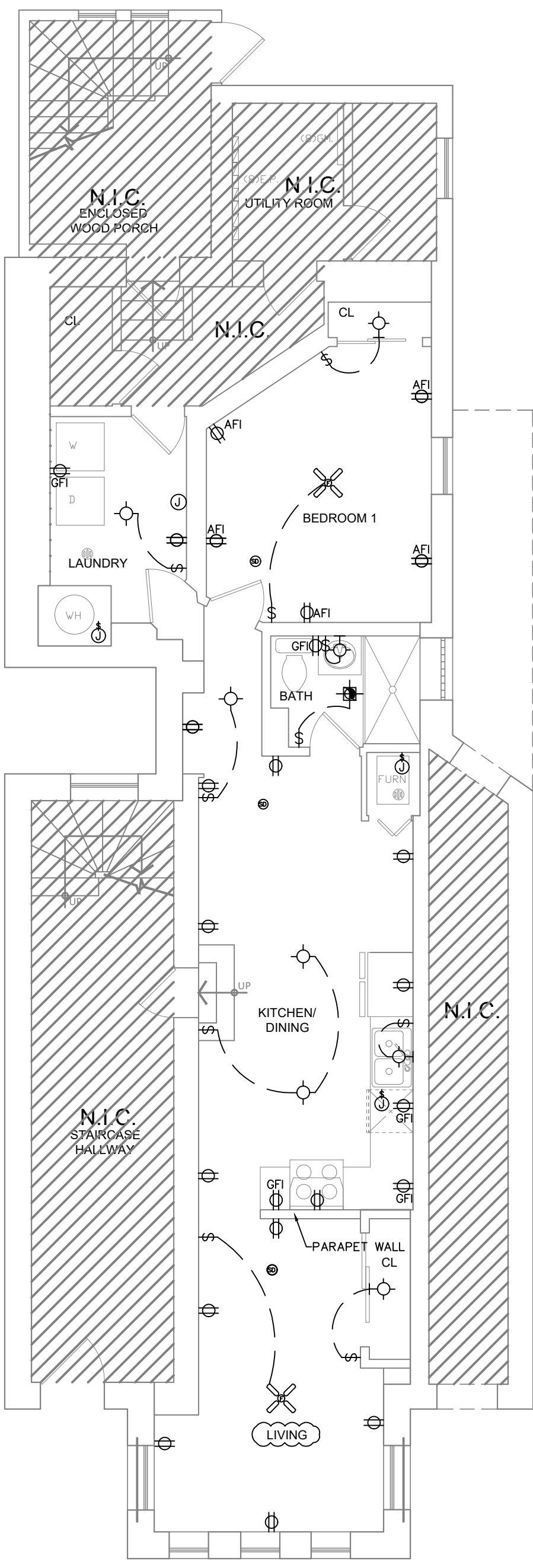
ELECTRICAL FLOOR PLANS
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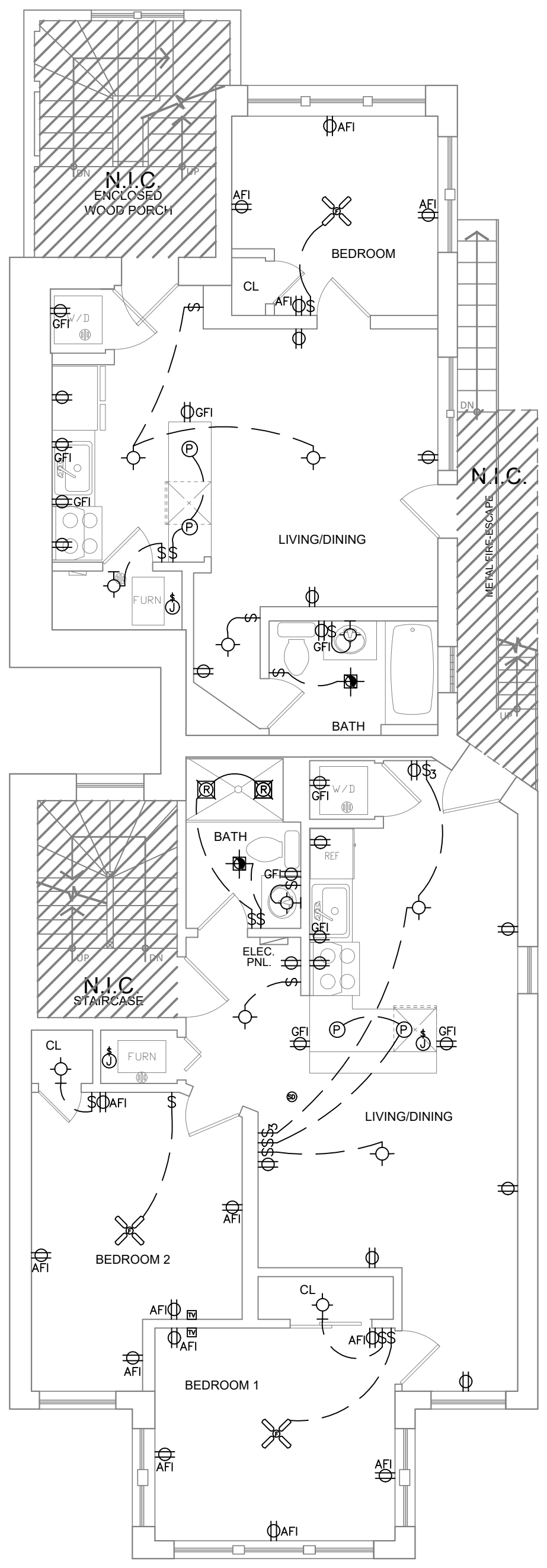
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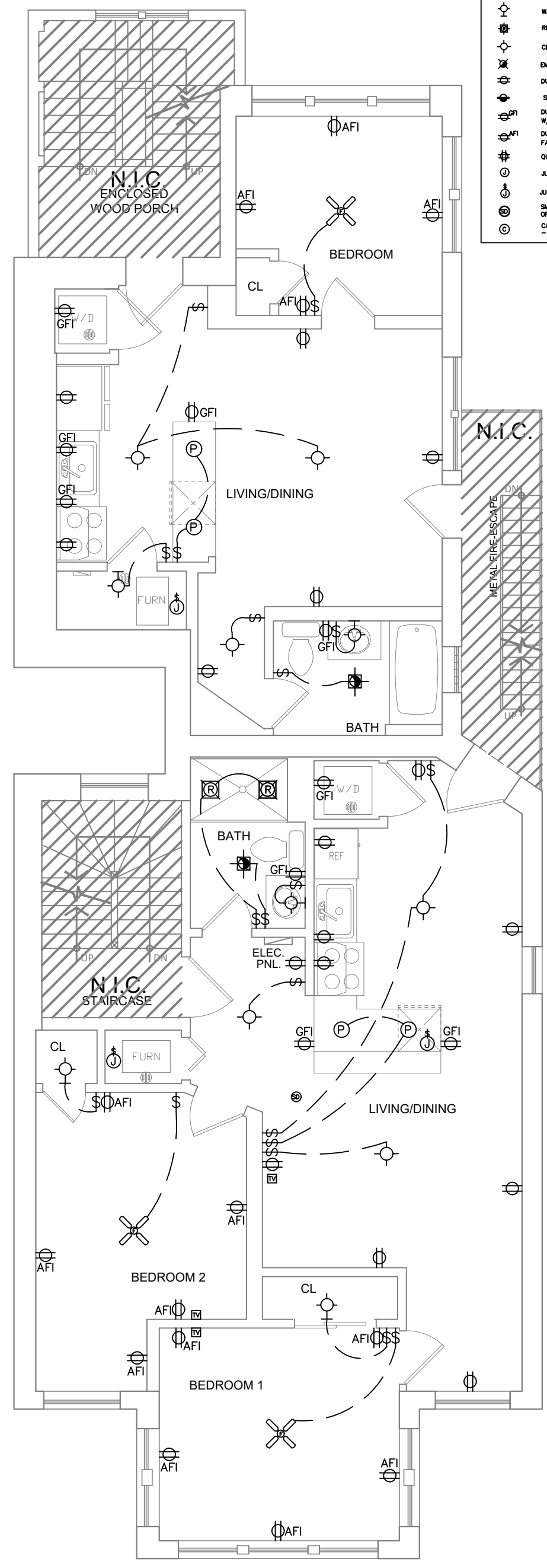
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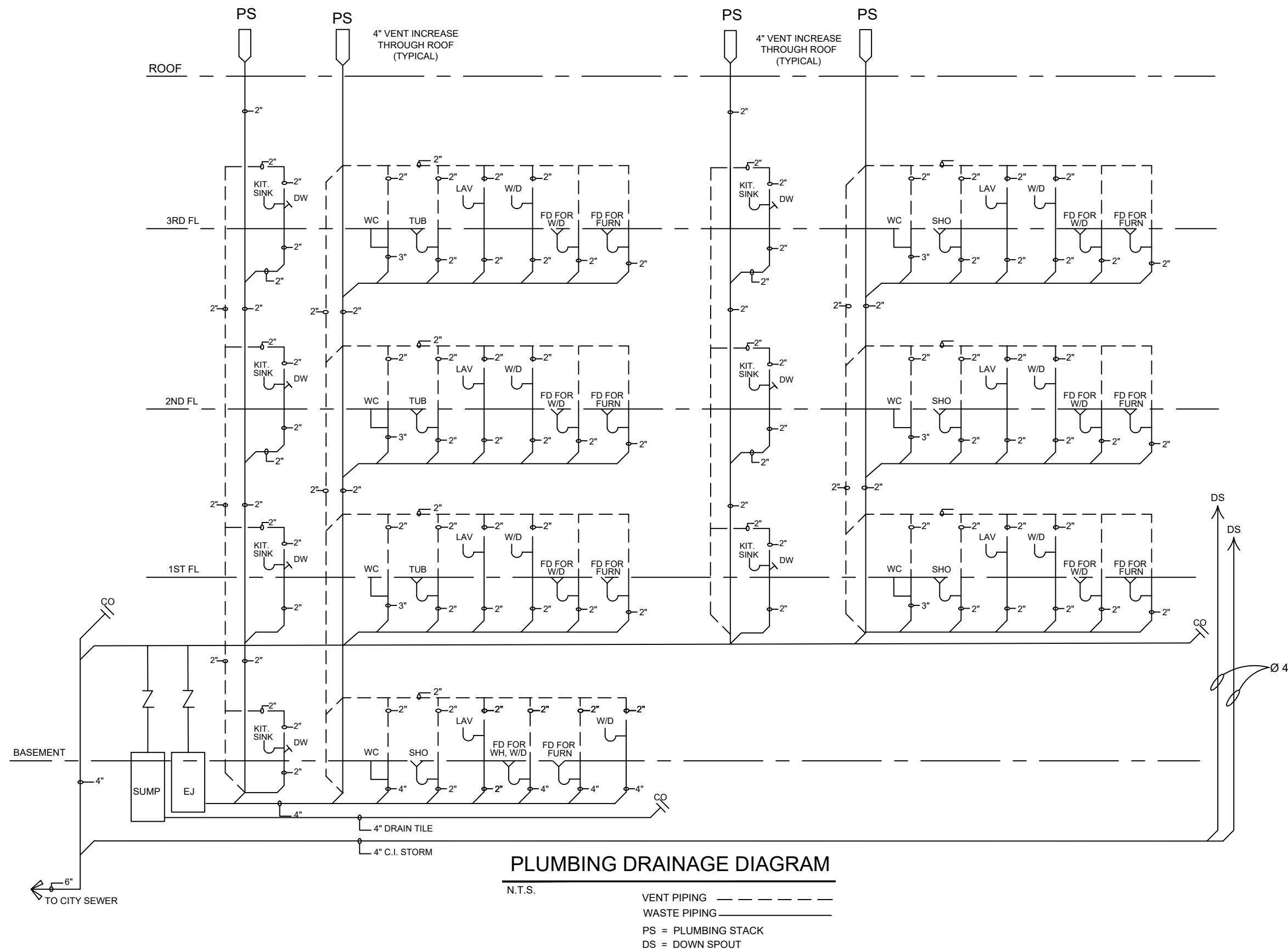
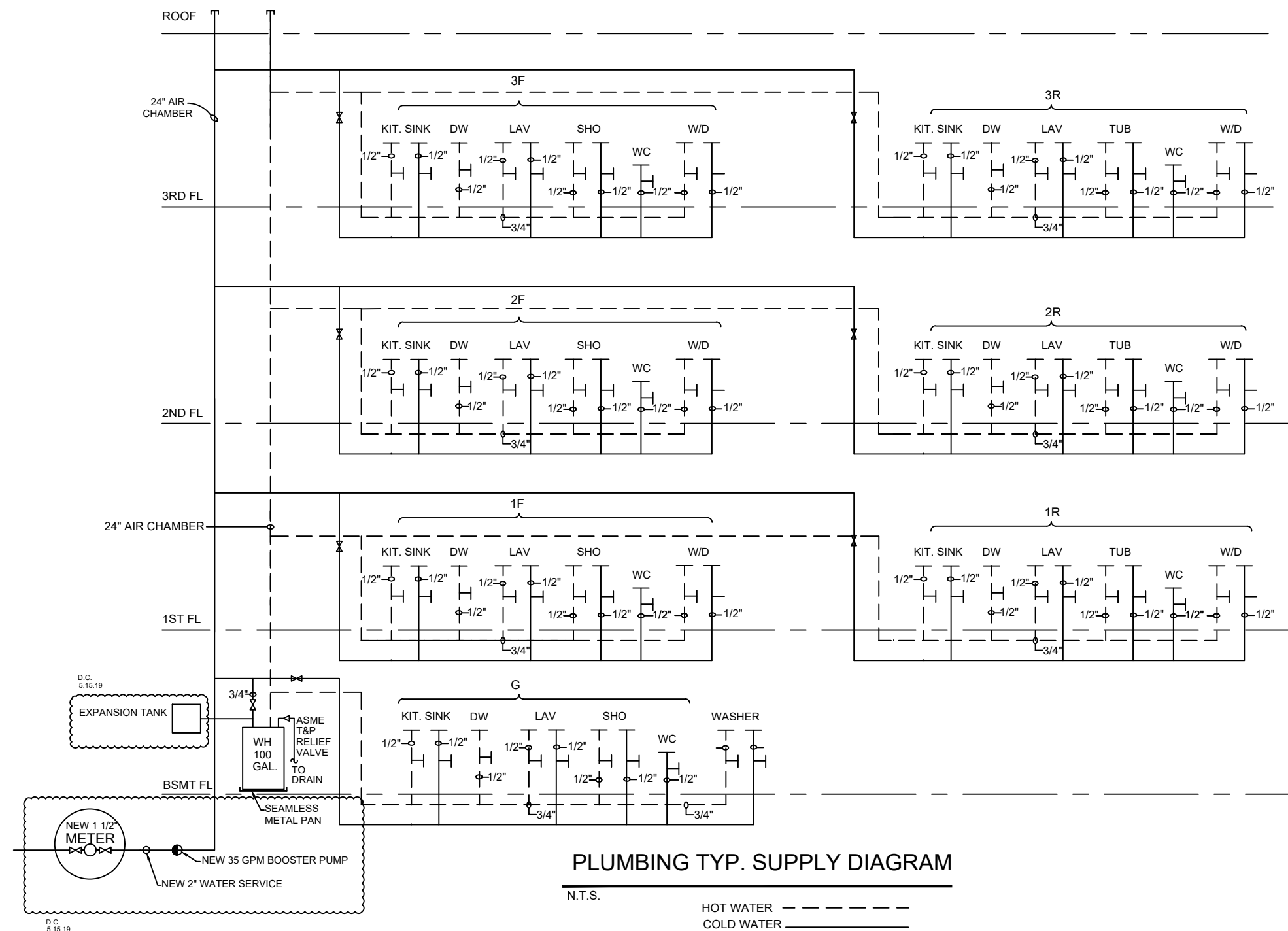
ELEC. BSMT. PLAN
3/16" = 1'-0"



ELEC. 1ST FL PLAN
3/16" = 1'-0"



ELEC. TYP FL PLAN
3/16" = 1'-0"

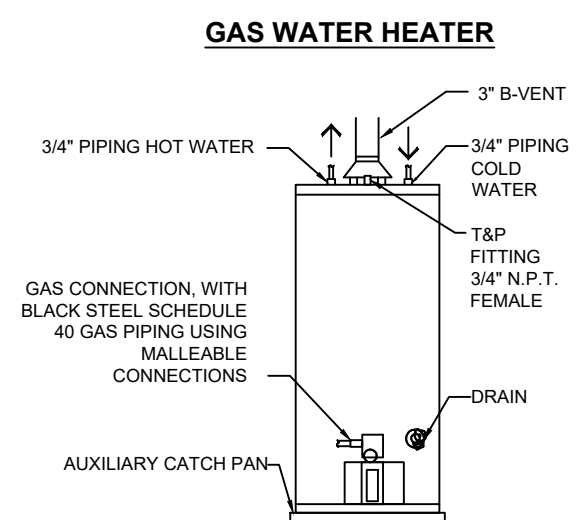


GENERAL PLUMBING NOTES

- ALL PLUMBING WORK TO COMPLY WITH AND TO BE EXECUTED IN STRICT ACCORDANCE WITH THE CITY OF CHICAGO BUILDING CODE AND THE STATE OF ILLINOIS PLUMBING REQUIREMENTS.
- ALL PLUMBING WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE OWNER/ARCHITECT.
- THE PLUMBING CONTRACTOR SHALL VERIFY THE SIZING AND DESIGN OF ALL PLUMBING SHOWN AND SHALL FURNISH ALL NECESSARY LABOR, MATERIALS, INSTRUMENTS AND DEVICES REQUIRED TO CAUSE THE SYSTEM TO PERFORM IN ACCORDANCE WITH THE INTENT OF THE PLANS.
- ALL PLUMBING ROUGH-INS MUST BE INSPECTED AND APPROVED BY THE CITY OF CHICAGO. INSPECTIONS SHALL BE SCHEDULED BEFORE DRYWALL IS HUNG IN CHASE AREAS OR CONCRETE POURED AT TRENCHES. CONTRACTOR IS RESPONSIBLE FOR ARRANGING ALL INSPECTIONS.
- THE PLUMBING CONTRACTOR MUST TEST ALL PLUMBING FIXTURES (PRESSURE TEST THE ENTIRE SYSTEM) BEFORE THE OWNER WILL ACCEPT THE OCCUPANCY.
- WHENEVER POSSIBLE, UTILIZE EXISTING UNDERGROUND SEWER WORK. THE PLUMBING CONTRACTOR SHALL VERIFY THAT THE EXISTING STORM SEWER AND WASTE SEWER SYSTEMS ARE IN SERVICEABLE CONDITION.
- PROVIDE FLOOR DRAINS AT ALL FURNACE AND LAUNDRY LOCATIONS AND ALL OTHER LOCATIONS NOTED ON THE DRAWINGS. FLOOR DRAINS SHALL BE MADE TO FLOW PROPERLY.
- VALVE SHUT-OFFS ARE REQUIRED FOR EACH FIXTURE, RISER, AND BETWEEN BRANCHES.
- ADEQUATELY SUPPORT ALL PIPING FIXTURES. PROVIDE EXPANSION LOOPS AS REQUIRED.
- PROVIDE WATER HAMMER PREVENTION SYSTEM FOR THE WATER SUPPLY PIPING AT EACH RISER AND AT EACH FIXTURE AS REQUIRED BY THE CITY OF CHICAGO BUILDING CODE.
- ALL SUPPLY PIPING TO BE HARD DRAWN COPPER.
- ALL WASTE AND VENT PIPING UP TO 3" DIAMETER SHALL BE HARD DRAWN COOPER OR P.V.C. ALL WASTE AND VENT PIPING 4" DIAMETER AND LARGER SHAL BE HARD DRAWN COOPER OR CAST IRON.
- ALL WASTE LINES BELOW GROUND TO BE CAST IRON.
- THE PLUMBING CONTRACTOR SHALL PROTECT ALL EXISTING

- FIXTURES AND FAUCETS FROM DAMAGE THROUGH THE DURATION OF CONSTRUCTION.
- ALL EXPOSED PIPING AND/OR TRIMS SHALL BE CHROMIUM PLATED (TYPICAL).
- ANY EXISTING PLUMBING WORK DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH NEW AND EQUAL TO THE EXISTING WITHOUT ANY COST TO THE OWNER.
- PROVIDE ALL CUTTING AND DRILLING TEMPLATES REQUIRED FOR THE NEW WORK. NO EXISTING OR NEW STRUCTURAL WORK TO BE CUT WITHOUT PREVIOUS APPROVAL FROM THE ARCHITECT. PATCH ALL DISTURBED EXISTING WALLS AND CEILING TO MATCH ADJACENT SURFACES.
- INSTALL ALL NEW WORK SUBSTANTIALLY AS INDICATED ON THE DRAWINGS. SLIGHT DEVIATIONS FROM LOCATIONS OF NEW PIPING INDICATED ON THE DRAWINGS MAY BE MADE BY THE CONTRACTOR (AT NO ADDITIONAL CHARGE TO THE OWNER) IN ORDER TO CLEAR EXISTING STRUCTURAL WORK, EXISTING HVAC, EXISTING PIPING, ETC.. HOWEVER, ALL SUCH DEVIATION SHALL BE PREVIOUSLY APPROVED BY THE ARCHITECT/OWNER.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE OWNER PERTAINING TO THE USE OF DOOR ENTRIES, WORKING HOURS, REFUSE DISPOSAL, SECURITY, INTERRUPTION OF THE BUILDING UTILITIES, AND/OR FUNCTIONS, OWNERSHIP OR SALVAGED MATERIALS AND ANY OTHER ITEMS DEEMED TO THE MUTUAL INTEREST.
- WORK SHALL INCLUDE, BUT NOT NECESSARILY LIMITED TO PROVIDING ALL LABOR, MATERIALS, TOOLS, PERMITS, TESTS, INSPECTION FEES, TAXES, ETC., NECESSARY FOR, OR INCIDENTAL TO THE INSTALLATION OF NEW PLUMBING WORK SATISFACTORY TO THE OWNER/ARCHITECT.
- ALL OPENINGS THROUGH WINDOWS, FLOOR, AND PARTITIONS SHALL BE PACKED WITH FIRE RATED MATERIAL "THERMO-FIBER No. CW 40". FLOOR OPENINGS ADDITIONALLY SHALL BE CAULKED WATERTIGHT WITH B-1 BUTYL WATERPROOF MASTIC SEALANT.
- PROVIDE 24" AIR CHAMBERS AT THE TOP OF EACH MAIN RISER.
- PROVIDE 12" AIR CHAMBERS AT EACH FIXTURE.
- PROVIDE ANTI-SCALD DEVICES AT ALL TUB AND SHOWER LOCATIONS
- INSULATE ALL EXTERIOR WALL PLUMBING & ALL PLUMBING LOCATED IN FLOORS/CEILINGS ADJACENT TO UNCONDITIONED OR EXTERIOR SPACES.
- REFER TO SHEET G-1 FOR ADDITIONAL NOTES.

FIXTURE SCHEDULE							
DESCRIPTION	MARK	MANUFACTURER	FIXTURE COUNT	FIXTURE UNITS SUPPLY	TOTAL	FIXTURE WASTE	TOTAL
LAVATORY	LAV	AMERICAN STANDARD OR EQUAL	7	1 EACH	7	1 EACH	7
TOILET (WC)	WC	AMERICAN STANDARD OR EQUAL	7	3 EACH	21	4 EACH	28
KITCHEN SINK	KIT	AMERICAN STANDARD OR EQUAL	7	2 EACH	14	2 EACH	14
DISHWASHER	DW	GENERAL ELECTRIC OR EQUAL	7	2 EACH	14	2 EACH	14
WASHER / DRYER	WD	GENERAL ELECTRIC OR EQUAL	7	2 EACH	14	2 EACH	14
HOSE BIBB	H.B.	AMERICAN STANDARD OR EQUAL	0	1 EACH	0	1 EACH	0
BATHTUB	TUB	AMERICAN STANDARD OR EQUAL	3	2 EACH	6	2 EACH	6
SHOWER	SHO	AMERICAN STANDARD OR EQUAL	4	2 EACH	8	2 EACH	8
TOTAL			42	TOTAL SUPPLY	84	TOTAL SUPPLY	91

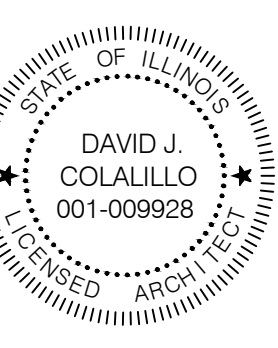


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PLUMBING DIAGRAMS & NOTES
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