W. HADDON AVENUE

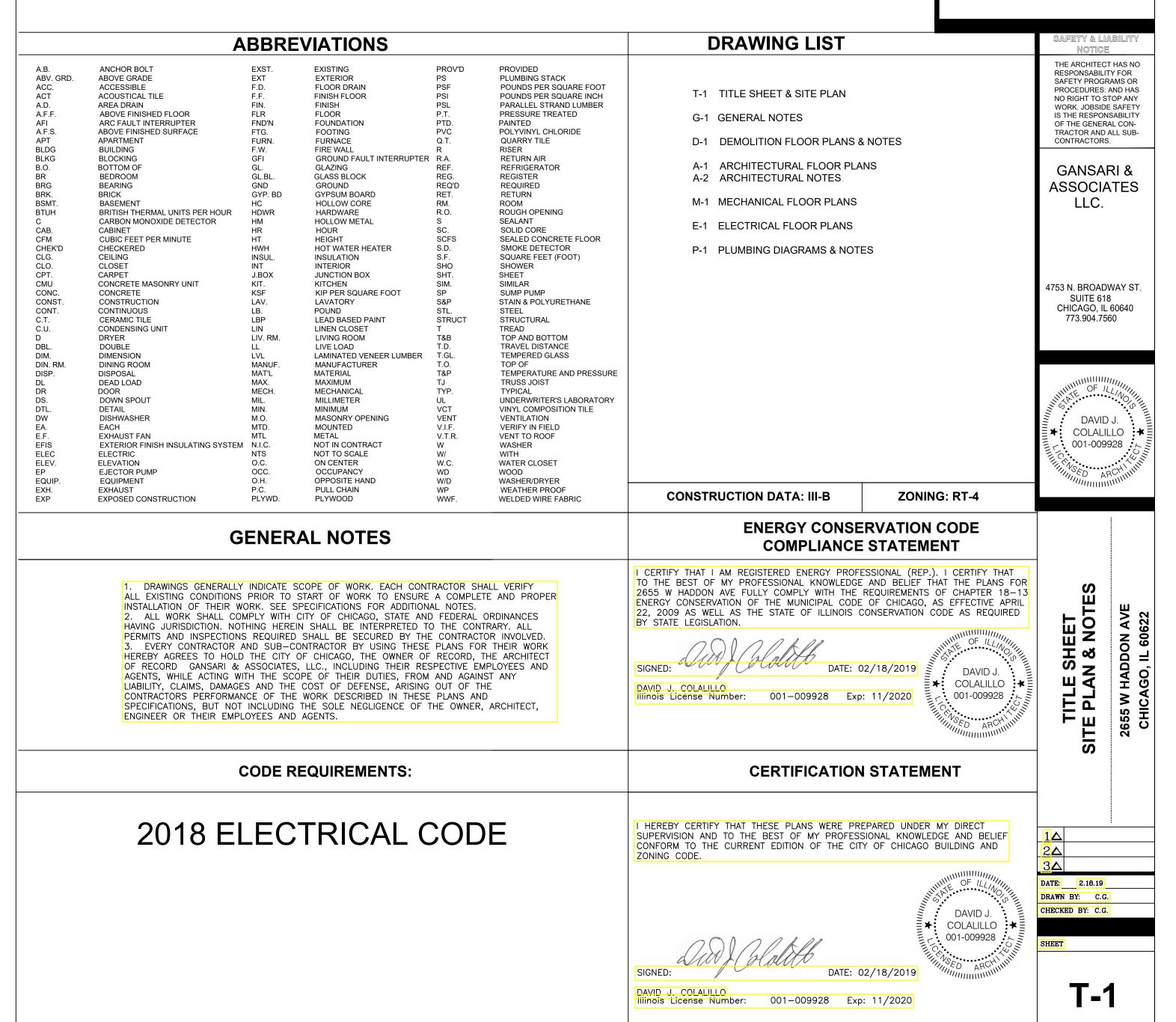
DIRECTION OF TRAFFIC **⋖** CONCRETE CURB CONCRETE 25.00' EAST WALL WEST WALL OF BUILDING OF BUILDING ON LINE ON LINE THREE STORY **BRICK BUILDING** 20.43 20.43 ADDITION , 19 **FRAME** PORCH TWO STORY BRICK BUILDING

16 FT PUBLIC ALLEY

25.00'



INTERIOR ALTERATION FOR 7 RESIDENTIAL UNITS, INCLUDING MEP WORK, IN EXISTING 3 STORY BRICK BUILDING WITH BASEMENT, 7 RESIDENTIAL UNITS (2 RESIDENTIAL DU COACH HOUSE NIC) AS PER PLANS AT: 2655 W HADDON AVE.



CORRECTIONS TO PERMIT #100804598, INTERIOR ALTERATION FOR 7 RESIDENTIAL UNITS, INCLUDING MEP WORK, IN EXISTING 3 STORY BRICK BUILDING WITH BASEMENT, 7 RESIDENTIAL UNITS (2 RESIDENTIAL DU COACH HOUSE NIC) AS PER PLANS AT: 2655 W HADDON AVE.

CORRECTIONS AND RESPONSES: 2655 W HADDON AVE. 100804598

ARCHITECTURAL

ARA0000 - ADMINISTRATIVE ISSUES. DINING AREAS REQUIRE NATURAL LIGHT AND VENTILATION.

RESPONSE: PLEASE SEE NEW WINDOWS FOR BASEMENT APARTMENT. EXISTING WALL TO BE
REMOVED, NEW PARAPET WALL TO REMAIN. PLEASE SEE ARCHITECTURAL, DEMOLITION AND
MECHANICAL PLANS FOR LAYOUT AND NEW WINDOWS WITH LIGHT AND VENTILATION SCHEDULES.

ELECTRICAL

ELG1378 - PLAN INFORMATION: GENERAL: PROVIDE ELECTRICAL APPLICATION SIGNED BY SUPERVISING ELECTRICIAN 1[14-12-270].

RESPONSE: ELECTRICAL APPLICATION WILL BE PROVIDED.

PLUMBING

PLI2311 INSTALL 2 INCH WATER SERVICE WITH 1/1/2 MTR WITH R@R. RESPONSE: PLEASE SEE NEW SERVICE AND METER SIZE ON P-1 SHEET.

PLI2311.....INSTALL 35 GPM BOOSTER PUMP.

RESPONSE: PLEASE SEE NEW BOOSTER PUMP ON SUPPLY DIAGRAM, P-1 SHEET.

PLI2311.....INSTALL EXPANSION TANK ON INLET SIDE OY WATER HEATER.

RESPONSE: PLEASE SEE NEW EXPANSION TANK ON P-1 SHEET.

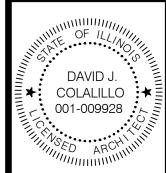
	NT OF BUILDINGS
Certified Cor	rections Program
Professionals of Reco	ord Certification Statement
All licensed professionals that stamp	the plans and make the Department of Buildings' must sign and seal this Certification.
Application Number: # 100804598	
Project Address: 2655 W HADDON	AVE:
Chicago, IL 606 22	ecord for this Project and to the best of my knowled
I have personally made all requested code correction sheet.	rections to the plans sets as reflected on the attac
ARCHITECT: 2000 AM	STRUCTURAL ENGINEER:
Signature: 400 / alplitte	STRUCTURAL ENGINEER: Signature:
Printed Name: PANO J. COLALILLO	Printed Name:
Address: 4753 N BROADWAY CHICAGO	
Dated: 5.18.19 0F.12.1911	Dated:
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HVAC CONSULTANT: (PROFESSIONAL ENGINEER)	PLUMBING CONSULTANT: (PROFESSIONAL ENGINEER)
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SAFETY & LIABILITY

THE ARCHITECT HAS NO RESPONSABILITY FOR SAFETY PROGRAMS OR PROCEDURES: AND HAS NO RIGHT TO STOP ANY WORK. JOBSIDE SAFETY IS THE RESPONSABILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS.

GANSARI & ASSOCIATES LLC.

4753 N. BROADWAY ST. SUITE 618 CHICAGO, IL 60640 773.904.7560



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CORREC

2655 W H/ CHICAG

24		
A E		
DATE:	2.18.19	•

DRAWN BY: C.G.
CHECKED BY: C.G.

SHEET

CS-1

- . VERIFY ALL EXISTING CONDITIONS, MATERIALS, DIMENSIONS, AND UTILITIES IN FIELD PRIOR TO EXECUTION OF THE WORK
- 2. PERFORM ALL CUTTING, PATCHING, AND REPAIR WORK AS REQUIRED TO COMPLETE THE PROJECT.

3 OWNER WILL OBTAIN THE GENERAL PERMIT, GENERAL CONTRACTOR SHALL OBTAIN AND ARRANGE FOR ALL OTHER PERMITS REQUIRED FOR COMPLETION OF THE PROJECT, ARRANGE FOR ALL NECESSARY INSPECTIONS AND TESTS AS REQUIRED BY THE CITY OF CHICAGO AND MAKE ALL REQUIRED SUBMITTALS. 4. DESIGN BUILD: PORTIONS OF THE WORK SHALL INDICATE THAT WORK WILL BE PERFORMED ON A 'DESIGN/BUILD' BASIS. IN SUCH CASES, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COMPLETE DESIGN, ENGINEERING, AND INSTALLATION OF SUCH SYSTEMS OR EQUIPMENT, AND SHALL WARRANTY TO THE OWNER THAT SUCH WORK SHALL ADEQUATELY MEET THE NEEDS AND REQUIREMENTS OF THE OWNER AND OF THE PROJECT AS PLANNED AND ITS INTENDED USES AS WELL AS COMPLY COMPLETELY WITH ALL APPLICABLE CODES, ORDINANCES AND GOVERNING REGULATIONS. IN NO WAY SHALL A DESIGN/BUILD. ARRANGEMENT LIMIT THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE HIS OBLIGATION TO MEET SUCH NEEDS AND REQUIREMENTS. DESIGN/BUILD WORK SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

*PLUMBING SYSTEM *FLECTRICAL SYSTEM *STRUCTURAL SYSTEM (TRUSSES, TRUSS GIRDERS) *REAR DECK/STAIR

5. COORDINATE ALL WORK WITH OTHER TRADES AND WITH THE OWNER. 6. PROTECT PROPERTY AND OWNER OPERATIONS FROM DAMAGE AND/OR DELETERIOUS ACTIVITIES. REPAIR ANY DAMAGE THAT MAY OCCUR AT ONCE 7. PROVIDE ALL TEMPORARY LIGHTING, POWER, AND HEAT AND VENTILATION. GUARDS AND ENCLOSURES, SCAFFOLDING SYSTEMS, SECURITY AND WEATHER

PROTECTION AS REQUIRED TO PROPERLY PERFORM THE WORK AND INSURE THE SAFETY OF THE WORKMEN AND PROJECT OCCUPANTS. MAINTAIN TEMPORARY SYSTEMS THROUGHOUT DURATION OF THE WORK OR UNTIL PERMANENT SYSTEMS 8. THE CONTRACTOR AND ALL OF HIS SUBCONTRACTORS, EMPLOYEES AND PERSONNEL SHALL BE INSURED FOR THE DURATION OF THE PROJECT IN

ACCORDANCE WITH CONTRACT DOCUMENTS. ARCHITECT SHALL BE NAMED AS 'ADDITIONAL INSURED' ON INSURANCE POLICIES OF ALL CONTRACTORS ON THE PROJECT AND SHALL BE PROVIDED EVIDENCE OF SAME PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES. 9. MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER. REMOVE ALL DEBRIS,

EXCESS MATERIALS. DIRT AND SIMILAR ITEMS AND PROPERLY DISPOSE OF OFF 10. ALLOWABLE UNITS STRESS AND LOADING IN ACCORDANCE WITH LOCAL CODES

AND AS FOLLOWS: *LIVE LOADS AT ROOF 40 LBS/SF

*LIVE LOADS AT FLOORS 40 LBS/SF *LIVE LOADS AT PORCHES/BALCONIES/DECKS 100 LBS/SF

*LIVE LOADS AT STAIRS 100 LBS/SF

*WIND LOADS 20 LBS/SF 11. NOTIFY ARCHITECT IN WRITING AT ONCE OF ANY DISCREPANCIES FOUND IN THE CONSTRUCTION DOCUMENTS. IN SUCH CASES THE MOST RESTRICTIVE

(GREATER QUANTITY OR THE BETTER QUALITY) SHALL GOVERN. 12. THE OWNER MAY OCCUPY PORTIONS OF THE PROJECT PRIOR TO COMPLETION OF THE WORK. PHASE WORK OPERATIONS TO MAINTAIN HABITABLE STANDARDS OF SECURITY SANITATION WEATHER PROTECTION AND CLEANLINESS FOR THE

OWNER. PROVIDE TEMPORARY ENCLOSURES TO SEPARATE AREAS OF WORK 13. ALL MATERIALS SHALL BE NEW. EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH BUILDING CODE REGULATIONS AND MANUFACTURER'S INSTRUCTIONS. ALL MATERIALS FOR WHICH UNDERWRITERS LABORATORIES ISSUES A LABEL SHALL CARRY THE U.L. LABEL. PROVIDE ADDITIONAL CONTROLS,

ACCESSORIES AND DEVICES TO COMPLETE THE INSTALLATION WHETHER OR NOT

SHOWN IN THE PERMIT DOCUMENTS. 14. TEST, BALANCE, ADJUST AND REPAIR WORK AND EQUIPMENT FOR PROPER OPERATION AND OPTIMUM PERFORMANCE.

15. AT TIME OF SUBSTANTIAL COMPLETION, ALL LAMPS SHALL BE OPERATIONAL ALL FILTERS CLEAN, ALL SYSTEMS OPERATIONAL WITHOUT LEAKAGE EXCESSIVE VIBRATION OR NOISE

18. PROVIDE SAFETY-GLAZING MATERIALS AT ALL HAZARDOUS LOCATIONS AS DEFINED BY THE CITY OF CHICAGO AND CODES CURRENTLY ENFORCED BY THAT

SITEWORK AND PAVING

1. THE CONTRACTOR SHALL CAREFULLY AND FULLY EXAMINE THE SITE OF THE WORK, AND COMPARE IT TO THIS DOCUMENT AND ALL OTHER CONDITIONS AND LIMITATIONS PERTAINING TO WORK. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND SHALL PROVIDE SITE SURVEY DETERMINING CRITICAL GRADE ELEVATIONS FOR REVIEW BY ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. NO WORK IS TO START UNTIL ALL DISCREPANCIES ARE RESOLVED.

2. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE ORDINANCES AND REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, ADOPTED OCTOBER 1, 1983 AND SUPPLEMENTAL SPECIFICATIONS. 3. PROVIDE ALL CUTTING, PATCHING SHORING AND DE-WATERING NECESSARY TO

4. KEEP EXITS, ACCESS WAYS, OWNER OCCUPIED AREAS AND DRIVES CLEAN AND

5. CUT AND CAP UTILITIES THAT ARE TO BECOME ABANDONED OR REPLACED BY NEW WORK. COORDINATE WITH UTILITY OWNER PRIOR TO SUBMITTING BID. 6. EARTHWORK

*COORDINATE WITH ALL UNDERGROUND UTILITIES PRIOR TO STARTING EXCAVATION.

*LOCATE EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING EARTHWORK OPERATIONS. SHOULD UNCHARTED UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONSULT UTILITY OWNER IMMEDIATELY FOR DIRECTIONS. EXISTING UTILITIES ARE TO REMAIN IN EFFECT DURING

*UNIFORML.Y GRADE AREAS WITHIN SPECIFIC TOLERANCES, COMPACT WITH INDICATED AND BETWEEN SUCH POINTS AND EXISTING GRADES. *DETERMINE EXTENT OF CUT OR FULL REQUIRED PRIOR TO SUBMITTING BID. PROVIDE SUITABLE FILL REQUIRED. DISPOSE OF EXCESS EXCAVATED MATERIAL. WASTE, TRASH, AND DEBRIS OFF-SITE.

*PROTECT EXISTING LANDSCAPE (IE., TREE TRUNKS, ROOTS, SHRUBS, ETC.) DURING CONSTRUCTION. TREE TRUNKS SHALL BE WRAPPED WITH A 4 FOOT HIGH SHEATHING OF 2X4 OR SIMILAR AT THE BASE. ADDITIONALLY, A 3 FOOT HIGH SNOW FENCE OR SIMILAR FENCE SHALL BE ERECTED AROUND THE TREES DRIP LINE TO PROTECT THE TREES ROOT SYSTEM FROM VEHICLE COMPACTION. THESE PROTECTIONS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT FOR ALL TREES IN THE WORK AREA AND WITHIN 20 FEET OF THE ACCESS WAYS TO

WORK ARFA *EXCAVATED MATERIALS SHALL BE REMOVED FROM SITE IMMEDIATELY OR SHALL BE STOCK PILED IN APPROVED AREAS IN PLYWOOD SHEATHING LAID ON THE

7. PAVEMENT *APPLY BINDER AND SURFACE COURSES WHEN AMBIENT TEMPERATURE IS ABOVE 40 DEGREES F AND WHEN TEMPERATURE HAS NOT BEEN BELOW 30 DEGREES F FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION

*BITUMINOUS ASPHALT SHALL BE PLANT-MIXED HOT LAID ASPHALT AGGREGATE MIXTURE IN 2 1/2" MINIMUM THICKNESS COMPLYING WITH ASTM D 3515 AND AS RECOMMENDED BY LOCAL AUTHORITIES TO SUIT PROJECT CONDITIONS. APPLICATION SHALL BE 1 1/2" BINDER AND 1' SURFACE COURSE THICKNESS ON 6" STONE OR GRAVEL ON C COMPACTED FILL. SURFACE SMOOTHNESS TOLERANCES SHALL BE 1/4". PROVIDE PROPER SURFACE PITCH TO AVOID ANY PONDING.

*ALL UNSUITABLE MATERIAL AND SOFT YIELDING AREAS SHALL BE REMOVED AND REPLACED WITH CRUSHED STONE, IDOT CA-6 GRADATION, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY IN PAVEMENT AREAS AND COMPACTED TO 3000 PSF IN BUILDING PAD LIMITS.

SIDES OF WALL. ALL BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DENSITY.

WOOD AND PLASTIC

ROUGH CARPENTRY NOTES

1. ALL SAWN LUMBER FRAMING SHALL COMPLY WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE 'NATIONAL DESIGN SPECIFICATION' (NDS), LATEST EDITION, AS PUBLISHED BY THE 'NATIONAL FOREST PRODUCTS ASSOCIATION'

2. ALL PLYWOOD DECKING AND SHEATHING SHALL COMPLY WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION (APA), LATEST EDITION.

3. ALL SAWN LUMBER SHALL BE OF A SPECIES AND GRADE HAVING THE FOLLOWING MIN. VALUES: Fb = 1300 PSI, Fc = 1600 PSI, Fv = 175 PSI, E = 1700 KSI,

MAXIMUM ALLOWABLE MOISTURE CONTENT SHALL BE 19%.

ALL HEAVY TIMBER SHALL BE DOUGLAS FIR #1, HAVING THE FOLLOWING MIN. VALUES: Fb = 1650 PSL Fc = 1750 PSL F = 1700 KSL

PROVIDE 1"x4" OR METAL CROSS BRIDGING NOT OVER 6 FEET ON CENTER FOR ALL WOOD PROVIDE SOLID BLOCKING OF THE SAME DIMENSION AS THE JOISTS BETWEEN THE JOISTS AT

ALL SUPPORTS. ALL PLYWOOD FOR FLOOR/ROOF DECKS AND AS WALL SHEATHING SHALL BE OF THE THICKNESS SHOWN ON THE DRAWINGS AND SHALL MEET ALL THE REQUIREMENTS OF U.S. PRODUCT STANDARD PS 1, LATEST EDITION, FOR STRUCTURAL 1 GRADE MATERIAL AND/OR APA PERFORMANCE STANDARDS AND POLICIES FOR STRUCTURAL USE PANELS', FORM NO. E445. 8. ALLOWABLE UNIT STRESSES FOR LAMINATED MEMBERS: BENDING - 2900 PSI HORIZONTAL

9. ALL PRE-ENGINEERED WOOD PRODUCTS, INCLUDING BUT NOT LIMITED TO, WOOD TRUSSES. SHALL BE DESIGNED AND DETAILED TO SUPPORT THE LOADS INDICATED ON THE DRAWINGS. SHOP DRAWINGS AND CALCULATIONS BEARING A REGISTERED ENGINEER'S CERTIFICATION SHALL BE SUBMITTED FOR REVIEW AND SHALL CONTAIN SIZE. SPACING. LOCATION. AND CONFIGURATION OF SUCH MEMBERS. ALL SPECIES AND GRADES OF MATERIALS USED SHALL BE CLEARLY STATED ON SHOP DRAWINGS. CALCULATIONS SHALL BE SUBMITTED SHOWING LOADS, SHEARS, MOMENTS, AND DEFLECTIONS FOR ALL SUCH MEMBERS. CALCULATIONS SHALL CLEARLY STATE ALL SECTION PROPERTIES (SECTION MODULUS, MOMENT OF INERTIA, MODULUS OF ELASTICITY), ALL DESIGN STRESSES, AND ALLOWABLE STRESSES USED IN DETERMINING SUCH MEMBERS.

10. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED TO INSURE PROPER ALIGNMENT AND STABILITY OF TRUSSES DURING CONSTRUCTION PER THE TRUSS PLATE INSTITUTE'S PUBLICATION BWT-76, 'BRACING WOOD TRUSSES - COMMENTARY AND

. GALVANIZED OR COATED CONNECTORS SHALL BE USED FOR ALL OUTDOOR WOOD INSTALLATIONS.

12. ALL EXTERIOR EXPOSED WOOD AND SILL PLATES IN CONTACT WITH MASONRY OR CONCRETE HALL BE PRESSURE PRESERVATIVE TREATED LUMBER AS PER ARCHITECTURAL SPECIFICATIONS. 13. MINIMUM NAILED CONNECTIONS FOR WOOD FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE NAILING SCHEDULE GIVEN IN APPENDIX M OF THE BOCA BASIC BUILDING CODE. LATEST

14. BACKPRIME AND PREPRIME ALL EXPOSED WOOD FOR FINAL PAINT FINISH UNLESS NOTED

OTHERWISE. 15. ALL MANUFACTURED LAMINATED WOOD BEAMS SUCH AS MICROLAM OR PARRALAM AS SHOWN ON THE DRAWINGS SHALL FOLLOW THE MANUFACTURER'S NAILING AND BOLTING PATTERNS FOR MULTIPLE MEMBER USE

16. WHEN USING TJI'S OR OTHER ENGINEERED JOIST PRODUCTS. CARPENTER CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH AND FAITHFULLY ABIDE BY ALL INSTALLATION, STORAGE AND HANDLING RECOMMENDATIONS AS SPECIFIED BY MANUFACTURER. SPECIAL ATTENTION MUST BE PAID TO AREAS INCLUDING, BUT NOT LIMITED TO, REQUIRED MINIMUM BEARING, SQUASH BLOCKING, RIM JOIST CONSTRUCTION, FILLER BLOCKING, WEB STIFFENERS, ALLOWABLE HOLE OPENING SIZES, CANTILEVER REINFORCEMENT AND TEMPORARY STRUT LINES.

FINISH CARPENTRY NOTES

1. FURNISH AND INSTALL ALL FINISH CARPENTRY INCLUDING TRIM AND MOULDINGS, DOOR FRAMES, PANELING, AND WEATHERSTRIPPING.

2. ALL JOINTS SHALL BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE NEATLY MITERED, SCRIBED, AND COPED. ALL EXPOSED SURFACES SHALL BE FREE OF TOOL MARKS. ALL WORK SHALL BE ACCURATELY SCRIBED TO FIT ADJACENT SURFACES

. INSTALL FINISH CARPENTRY WORK PLUM, LEVEL, TRUE, AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS.

I. DRYWALL CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR BLOCKING AND BACKING AS INDICATED IN THE DRAWINGS. BLOCKING AND BACKING SHALL BE TREATED FOR FIRE RESISTANCE AS REQUIRED BY CODE. ANCHOR ALL BLOCKING AND BACKING RIGIDLY TO BUILDING STRUCTURE OR PARTITION FRAMING

PROVIDE BLOCKING AND BACKING FOR ITEMS INCLUDING, BUT NOT LIMITED TO, THE

*TOILET ACCESSORIES. INSTALL BLOCKING AS REQUIRED OR RECOMMENDED BY ACCESSORY MANUFACTURER. *DOORWAYS -INSTALL 2x4 SUB BUCKS AND BLOCKING AT JAMB AND HEAD FOR ATTACHMENT OF DOOR FRAME BY OTHERS. NOT REQUIRED AT DOORS THAT ARE GROUTED IN MASONRY WALLS. CABINETS, COUNTERS, MILLWORK, CLOSET RODS, RAILINGS, AND COAT HOOKS. PROVIDE BLOCKING AND BACKING AS NOTED IN DRAWINGS. IF NOT SPECIFIED, PROVIDED 2x4 HORIZONTAL BLOCKING BETWEEN STUDS AT TOP AND BOTTOM OF WALL MOUNTED CABINETS AND COUNTERS. PLUMBING FIXTURES, ELECTRICAL EQUIPMENT. PROVIDE BLOCKING AS REQUIRED BY DRAWINGS.

STAIR AND RAILINGS

STAIR WIDTH EXCEEDS 43".

I. VERIFY FLOOR-TO-FLOOR HEIGHTS IN FILED. PRIOR TO FABRICATION, CHECK WORK IN PLACE AND ALL CLEARANCES FOR COMPLIANCE WITH CODE REQUIREMENTS 2. ALL STAIRS SHALL HAVE RAILINGS. RAILINGS SHALL BE PROVIDED ON BOTH SIDES WHENEVER

HANDRAILS SHALL BE SECURELY ANCHORED TO STAIRS AND/OR ADJACENT WALLS. RETURN THE ENDS OF RAILS INTO THE WALLS OR NEWEL POST. HANDRAILS SHALL BE BETWEEN 2'-10" TO 3'-2" MEASURED VERTICALLY ABOVE NOSING. AND

SHALL RETURN TO WALL, UNLESS NOTED OTHERWISE. . HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF AT

LEAST 1 1/4" AND NOT GREATER THAN 2". PROJECTION SHALL NOT BE MORE THAN 4" FROM FACE OF WALL OR PASSAGEWAY.

GUARDRAILS SHALL BE AT LEAST 42" HIGH. BALUSTERS OR INTERMEDIATE RAILS SHALL HAVE OPENINGS NO GREATER THAN 4".

COORDINATE WITH OTHER TRADES FOR SIZE AND LOCATION.

ACCESSIBILITY RAILINGS AS REQUIRED.

MAXIMUM RISER 8" AND MINIMUM TREAD 9". . VARIATION IN THE HEIGHT OF ADJACENT STAIR RISERS AND THE DEPTH OF ADJACENT STAIR READS SHALL NOT EXCEED 3/16". HEIGHT OF THE LARGEST AND SMALLEST STAIR RISER OR

STAIR TREAD IN A SINGLE FLIGHT OF STAIRS SHALL NOT EXCEED 3/8". PROVIDE TEMPORARY PROTECTION TO STAIRS UNTIL FINAL ACCEPTANCE . NEW STAIR WORK SHALL FULLY COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS

NCLUDING BUT NOT LIMITED TO LOAD CAPACITY, MATERIALS AND DIMENSIONS. 12. COORDINATE ROUGH CARPENTRY WORK FOR BLOCKING, SUPPORTS, AND REINFORCING AS NEEDED TO ADEQUATELY SUPPORT STAIR WORK AND RAILINGS.

13. GLUE AND NAIL OR SCREW ALL NEW STAIR WORK. ATTACH STAIR WORK RIGIDLY TO BUILDING

14. THE UNDERSIDE OF ALL STAIRS SHALL BE COVERED WITH 5/8" GYPSUM DRYWALL. PROVIDE ADDITIONAL FRAMING/BLOCKING AS NEEDED.

DOORS AND WINDOWS

PROVIDE TEMPERED OR LAMINATED SAFETY GLASS AT ALL GLAZING IN DOORS OR WINDOWS ADJACENT TO DOORS AND WHERE GLASS AREA EXCEEDS 9 SQUARE FEET, IN ACCORDANCE WITH LOCAL CODES. ALL SAFETY GLASS SHALL BE 1/4" THICK MINIMUM.

2. ALL GLAZING AT EXTERIOR OPENINGS SHALL BE INSULATED DOUBLE PANE UNITS FACTORY 3 UNI ESS NOTED OTHERWISE ALL GLASS SHALL BE CLEAR

4. GLAZING SHALL BE SEALED AT FRAMES WITH GASKETS, GLAZING COMPOUND, OR SEALANTS, AND SHALL BE WEATHER-TIGHT

CLEAN ALL GLASS AND REMOVE ALL LABELS AND TAGS 6. ALL MATERIALS USED FOR STOPS, FRAMES, AND GLAZING ANCHORS SHALL BE

NON-CORROSIVE. SUBMIT PRODUCT DATA, INCLUDING HALF-SIZE DETAILS OF EACH TYPICAL SECTION, SHOWING GLAZING DETAILS 8. PROVIDE REMOVABLE INSECT SCREEN PANEL FOR EACH MOVABLE GLAZED SASH. COMPLY

WITH REQUIREMENTS OF SMA 2005. SCREEN FRAME COLOR TO MATCH WINDOW . COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF WINDOWS LINITS HARDWARE OPERATORS ACCESSORIES AND OTHER WINDOW COMPONENTS. SET UNITS PLUMB, LEVEL, TRUE TO LINE, WITHOUT WARP OR WRACK OF FRAMES OR SASH. PROVIDE PROPER SUPPORT AND ANCHOR SECURELY IN PLACE. SET SILL MEMBERS IN

CONSTRUCTION. COORDINATE WINDOW INSTALLATION WITH WALL FLASHINGS AND OTHER 10. ADJUST OPERATION SASH AND HARDWARE TO PROVIDE A TIGHT FIT AT CONTACT POINTS AND WEATHER-STRIPPING. AND TO PROVIDE SMOOTH OPERATION AND A WEATHER-TIGHT

CLOSURE. LUBRICATE HARDWARE AND MOVING PARTS. 1. CLEAN SURFACES PROMPTLY AFTER INSTALLATION. AVOID DAMAGE TO PROTECTIVE COATINGS AND FINISHES

A BED OF COMPOUND OR WITH JOINT FILLERS OR GASKETS TO PROVIDE WEATHER-TIGHT

12. REMOVE AND REPLACE GLASS THAT IS BROKEN, CHIPPED, CRACKED, ABRADED, OR AMAGED IN OTHER WAYS DURING CONSTRUCTION PERIOD, INCLUDING NATURAL CAUSES, 8. BACKFILL ALL WALLS BY PLACING GRANULAR FILL IN 1'-0" LIFTS EVENLY ON BOTH ACCIDENTS, AND VANDALISM. INSTITUTE AND MAINTAIN PROTECTION AND OTHER PRECAUTIONS REQUIRED THROUGH REMAINDER OF CONSTRUCTION PERIOD TO ENSURE THAT EXCEPT FOR

> NORMAL WEATHERING, WINDOW UNITS WILL BE WITHOUT DAMAGE OR DETERIORATION AT THE TIME OF SUBSTANTIAL COMPLETION. 13. ALL WOOD WINDOWS SHALL BE FACTORY CLAD. FINISH COLOR AS SELECTED BY OWNER. 14. PROVIDE JAMB EXTENSIONS AS REQUIRED TO SUIT SPECIFIED WALL THICKNESS. 5. CONTRACTOR TO REVIEW ALL WINDOW/DOOR SIZES, OPERABILITY, FINISH, SCREEN OPTIONS AND HARDWARE WITH OWNER AND ARCHITECT PRIOR TO ORDERING. CONTRACTOR MUST HAVE

1. PROVIDE THRESHOLDS FOR ALL EXTERIOR DOORS, NEOPRENE WEATHER-STRIPPING TYPICAL HEAD, JAMB, AND SILL

WRITTEN APPROVAL FROM ARCHITECT OR OWNER BEFORE ORDERING WINDOWS AND DOORS.

2. PROVIDE HARDWARE COMPATIBLE WITH DOOR THICKNESS, WEIGHTS, AND MATERIALS.

. ALL EXTERIOR DOORS SHALL HAVE PINNED SECURITY HINGES. ALL DOORS SHALL HAVE LOCKS UNLESS NOTED OTHERWISE.

ALL DOORS TO HAVE 1-1/2 PAIR HINGES FOR SIZES UP TO 3'x7'. LARGER SIZES SHALL HAVE 2 PAIR HINGES. ALL EXIT DOORS AND FIRE RATED DOORS SHALL HAVE BALL BEARING HINGES. 6. ALL DOUBLE DOORS TO HAVE TOP AND BOTTOM FLUSH BOLTS WITH DUSTPROOF STRIKES AT INACTIVE LEAF.

7. LATCH BOLTS SHALL HAVE 5/8" THROW AT ALL LATCHSETS AND LOCKSETS. SUBMIT HARDWARE SCHEDULE FOR ALL COMPONENTS FOR ARCHITECT'S

9. PROVIDE WALL OR FLOOR BUMPERS FOR ALL DOORS. VERIFY WITH ARCHITECT PRIOR TO INSTALLATION. 10. ALL DOORS SHALL OPERATE IN THE DIRECTION OF EXIT TRAVEL WITHOUT

. ALL FIRE RATED DOORS TO HAVE SELF-CLOSING DEVICES. 12. ALL DOORS LEADING INTO HAZARDOUS AREAS SHALL HAVE KNURLED

FINISHES

1. ALL FINISHES SHALL BE CLASS 1, 0-25 FLAME SPREAD RATING. 2. ALL DRYWALL SURFACES SHALL BE PAINTED EXCEPT WHERE CERAMIC TILE OR A WALL COVERING FABRIC IS SPECIFIED. 3. PROVIDE CORNER AND J-BEADS AT ALL TERMINATIONS AND CORNERS OF GYPSUM BOARD.

4. ALL CLOSET OR UTILITY SHELVING TO BE MEDIUM DENSITY FIBERBOARD WITH FIBERFACE GRADE 1 WITH OIL BASE PAINT FINISH. PROVIDE WOOD CLOSET ROD WITH FINISHED METAL SOCKETS AND INTERMEDIATE SUPORTS AS

5. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL, UNLESS NOTED OTHERWISE.

6. GENERAL CONTRACTOR IS TO COORDINATE STAIR CONSTRUCTION WITH FINAL FLOOR FINISH SELECTIONS TO OBTAIN PROPER HEIGHTS. REVIEW LAYOUT OF STONE, TILE AND CERAMIC TILE WITH ARCHITECT PRIOR TO INSTALLATION. ALL GROUT LINES TO ALIGN VERTICALLY AND HORIZONTALLY AND AT ALL INTERSECTIONS AND CORNERS.

PROVIDE WATER RESISTANT GYPSUM BOARD AT BATHROOMS AND OTHER WET LOCATIONS. PROVIDE 1/2 " CEMENTIOUS BACKER BOARD AT ALL TILE LOCATIONS UNLESS NOTED OTHERWISE. AT SHOWER PANS, NO SCREWS SHALL BE LOCATED IN THE BOTTOM 8" OF THE WALL. PROVIDE BLOCKING AT ALL BATHROOM ACCESSORIES, ELECTRICAL

LOCATIONS, PLUMBING, ETC. AND AS REQUIRED FOR PROPER INSTALLATION 10. PROVIDE WOOD OR MARBLE THRESHOLDS AS REQUIRED OR AS NOTED AT ALL FLOOR MATERIAL TRANSITIONS.

NCLUDING ELECTRICAL OPENINGS.

THE USE OF KEYS.

PROVIDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH ALL CODES AND GOVERNING ORDINANCES. 2. ALL DRYWALL SHALL BE MINIMUM 5/8" THICK, TYPE 'X' SCREWED AND GLUED WITH TAPERED EDGE UNLESS NOTED OTHERWISE.

3. METAL STUD FRAMING SHALL BE MINIMUM 25-GAUGE GALVANIZED OR PAINTED SHEET METAL SPACED MAXIMUM 24" ON CENTER UNLESS NOTED

I. COMPLY WITH THE RECOMMENDATIONS OF THE GYPSUM CONSTRUCTION HANDBOOK PUBLISHED BY USG CORP., LATEST EDITION FOR METHODS AND INSTALLATION OF METAL FRAMING AND GYPSUM DRYWALL SYSTEMS. PROVIDE METAL CORNER REINFORCEMENT TRIM AT ALL OUTSIDE CORNER CONDITIONS. TRIM SHALL BE USG-DUR-A-BEAD OR EQUAL 6. PROVIDE CONTINUOUS BEAD OF SOUND SEALANT AT TOP AND BOTTOM AF ALL SOUND RATED INSULATED PARTITIONS AND AT PARTITION PENETRATIONS

COORDINATE WITH OTHER TRADES FOR INSTALLATION OF WOOD BLOCKING. 8. PROVIDE GYPSUM BOARD EDGE TRIM, USG-801-A AT EXPOSED NTERSECTIONS OR NEW GYPSUM DRYWALL PARTITIONS AND EXISTING PLASTER OR MASONRY WALLS. PROVIDE SOUND SEALANT BEAD.). PROVIDE GYPSUM BOARD EDGE TRIM, USG-801-A AT EXPOSED EDGED OF ALL NON-FULL HEIGHT GYPSUM DRYWALL PARTITIONS EXCEPT WHERE TOP OF

WALL HAS DRYWALL FINISH. 10. FINISH DRYWALL JOINTS AND CONCEAL ALL FASTENERS USING USG PERF-A-TAPE' SYSTEM OR EQUAL. APPLY FINISHING COMPOUND, SAND, AND REPEAT AS NEEDED TO COMPLETELY CONCEAL ALL JOINTS AND FASTENERS. 11. PROVIDE ADDITIONAL SUPPORTS. BRACKETS. TIES. AND FRAMING AS RECOMMENDED OR REQUIRED FOR PROPER INSTALLATION AND RIGID 12. CLEAN ALL SURFACES AND LEAVE READY FOR PAINT. REMOVE ALL EXCESS COMPLETION.

MATERIAL AND DEBRIS FROM SITE. 13. DRYWALL SUPPORT SYSTEMS AND FRAMING SHALL BE OF SUFFICIENT APACITY AND RIGIDITY TO SUPPORT THE ASSEMBLY WITH A MAXIMUM DEFLECTION OF L/360 WHERE 'L' REPRESENTS THE LENGTH OF THE SPAN. DEFLECTION LIMIT INCLUDES LIVE LOADS AND DEAD LOADS SIMULTANEOUSLY

14. PRIME ALL DRYWALL SURFACES UNLESS NOTED OTHERWISE 15. GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRING DRYWALL SCREW/NAIL POPS FROM THE DATE OF SUBSTANTIAL COMPLETION. THIS REQUIRES THE GENERAL CONTRACTOR TO PATCH, REPAIR AND PAINT THE AREA TO MATCH EXISTING COLOR AND FINISH. PAINTING OF THE PATCHED AREAS SHALL BE THE RESPONSIBILITY OF THE DRYWALL CONTRACTOR.

BY CONTRACTOR

1. VERIFY EXISTING CONDITIONS IN FIELD. PROVIDE ALL NECESSARY SURFACE FOR ALL PLUMBING FIXTURES INDICATED ON THE PLAN. THIS SHALL INCLUDE PREPARATION AS NEEDED FOR INSTALLATION OF NEW WORK. PROVIDE EXPANSION SPACE AT WALLS AND OTHER OBSTRUCTIONS AND TERMINATIONS OF FLOORING OR NOT LESS THAN 3/4" UNLESS NOTED OTHERWISE.

WARRANTY PERIOD IS THREE (3) YEARS FROM DATE OF SUBSTANTIAL REPAIR DEFECTS IN MATERIALS AND WORKMANSHIP AT ONCE WITHOUT

COST TO OWNER. DEFECTS INCLUDE, BUT ARE NOT LIMITED TO: BUCKLING, WARPING, SQUEAKING, AND LOOSENING *EXCESSIVE OPEN JOINTS FOR CRACKS. DETERIORATION OF FINISHES BEYOND NORMAL WEAR. 5. PROVIDE TONGUED-AND-GROOVED SOLID WOOD FLOORING STRIPS TO

MATCH WOOD SAMPLE COLOR, TEXTURE, CUT, GRADE, AND TYPE. PROVIDE SAMPLE TO ARCHITECT AND/OR OWNER FOR APPROVAL 6. ALL WOOD FLOORING INSTALLATION TO COMPLY WITH FLOORING MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, BUT NOT LESS THAN THAT RECOMMENDED IN NOFMA 'HARDWOOD FLOORING INSTALLATION

MATERIAL'. 7. FINISHED MATERIAL INCLUDES BUT IS NOT LIMITED OT: *MACHINE SAND: REMOVE OFFSETS AND NON-LEVEL CONDITIONS. *STAIN. PENETRATING TYPE TO MATCH ARCHITECT'S SAMPLE. WOOD FILLER: PENETRATING TYPE COMPATIBLE WITH STAIN OR FINISH. *FLOOR FINISH: BUILD DRY FILM THICKNESS OF AT LEAST 3.0 MILS. FINISH TO

MATCH ARCHITECT'S SAMPLE 8. ACCESSORY MATERIALS INCLUDE, BUT ARE NOT LIMITED TO: MOISTURE BARRIER: POLYETHYLENE SHEETING NOT LESS THAN 6.0 MILS THICK

*FELT UNDERLAYMENT: TYPE 1, NO. 15 ASPHALT-SATURATED FELT. *FINISH AND STAIN: PROVIDE PENETRATING STAIN AND FLOOR SEALER/FINISH SYSTEM THAT MATCHES EXISTING FLOOR FINISH 9 INSPECT SUBELOOR PRIOR TO BEGINNING OF THE WORK AND VERIEY EXISTING MOISTURE/HUMIDITY CONDITIONS. DO NOT BEGIN WORK UNTIL ALL

CONDITIONS ARE ACCEPTABLE AND READY FOR THE NEW FLOOR SYSTEM. 10. WOOD FLOORING MATERIALS SHALL BE STORED ON-SITE FOR A MINIMUM OF ONE WEEK IN ORDER TO ACCLIMATE TO ENVIRONMENTAL CONDITIONS.

EQUIPMENT

1. ALL KITCHEN APPLIANCES SHALL BE PROVIDED BY OWNER AND INSTALLED ALL APPLIANCES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH

MANUFACTURER'S INSTRUCTIONS 3. CONTRACTOR SHALL COORDINATE APPLIANCE INSTALLATION WITH CABINETRY, MILLWORK, COUNTERTOPS AND UTILITY REQUIREMENTS.

ELECTRICAL

1. VERIFY ALL EXISTING CONDITIONS, DIMENSION, AND MATERIALS IN THE FIELD. REPORT ALL DISCREPANCIES TO ARCHITECT IN WRITING AT ONCE. . ALL CONDUCTORS SHALL BE COPPER. MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG SOLID WIRE. ALL CONDUCTORS #10 AND LARGER SHALL HAVE THWN OR THW RATED INSULATION ALL OTHERS SHALL HAVE THWN 3. ALL WORK AND MATERIALS SHALL CONFORM TO ALL LOCAL CODES AND

4. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS

28. FOR EACH NEW VENT THROUGH THE ROOF,

AND PAY FOR ALL FEES ASSOCIATED WITH THIS WORK. 5. ALL CONDUIT SHALL BE THIN WALL GALVANIZED STEEL OR INTERMEDIATE WALL GALVANIZED STEEL CONDUIT. WHERE CONDUIT RUNS MUST BE EXPOSED. INSTALL AGAINST WALLS OR CEILING. INSTALL PARALLEL TO MAJOR BUILDING LINES. DO NOT RUN DIAGONALLY ACROSS SPACES. EXPOSED CONDUIT SHALL ONLY BE PERMITTED IN MECHANICAL ROOMS UNLESS NOTED OTHERWISE. ALL OTHER CONDUIT SHALL BE CONCEALED FROM VIEW. 6. GROUND ALL EQUIPMENT AND ASSOCIATED ELECTRICAL WORK IN

ACCORDANCE WITH CODE REQUIREMENTS. PROVIDE ALL LAMPS FOR FIXTURES. PROVIDE ALL FUSES. B. LABEL CIRCUIT BREAKERS AND DISCONNECT SWITCHES TO IDENTIFY

EQUIPMENT AND DEVICES CONTROLLED. DIRECTORIES AT PANELS SHALL 9. BALANCE CIRCUIT LOADS AT PANELS TO PROVIDE EQUAL OR NEAR EQUAL

LOADS FOR EACH OF THE PHASES. 10. WHERE PENETRATIONS FOR ELECTRICAL DEVICES OCCUR ON OPPOSITE SIDES OF THE SAME FULL HEIGHT WALL, DO NOT LOCATE WITHIN THE SAME STUD SPACE AS A SOUND PREVENTION MEASURE 11. SEPARATE LIGHTING CIRCUITS FROM RECEPTACLE CIRCUITS. MAXIMUM PERMITTED LADS ON CIRCUITS SHALL BE AS FOLLOWS:

*20 A - 1700 WATTS 15 A - 1200 WATTS EXCEPT FOR DEDICATED RECEPTACLES, OUTLETS SHALL BE FIGURED FOR 200 WATTS EACH. OTHER CIRCUIT AMPACITIES SHALL BE LOADED IN ACCORDANCE

WITH ALL LOCAL CODES.

12. 'DEDICATED CIRCUITS' SHALL BE LIMITED TO OUTLETS SERVING LIKE PIECES OF EQUIPMENT. 'SEPARATE CIRCUITS' SHALL SERVE A SINGLE OUTLET OR PIECE OF EQUIPMENT. 13. ALL DEVICE TRIM PLATES SHALL BE METAL PLATES PAINTED SEMI-GLOSS

TO MATCH ADJACENT WALL SURFACE. RECEPTACLE AND SWITCH DEVICES TO 14. PROVIDE A DEDICATED 20 A CIRCUIT FOR COUNTER TOP RECEPTACLES FOR KITCHEN COUNTER APPLIANCES. RECEPTACLES SHALL BE RATED FOR 20

15. REFER TO ELECTRICAL SCHEDULE FOR FIXTURE AND EQUIPMENT REQUIREMENTS. 16. LOCATE ELECTRICAL METER AND PANEL AS INDICATED ON PLANS. PROVIDE SERVICE ENTRANCE EQUIPMENT, CABLE, AND CONDUIT AS

17. PROVIDE TRANSFORMER AND WIRING FOR DOORBELL AND INTERCOM SYSTEM. SEE PLANS FOR ADDITIONAL EQUIPMENT REQUIREMENTS. 18. ALL SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE U.L. RATED AND HARDWIRED TO ELECTRICAL SYSTEM AND INTERCONNECTED. SMOKE DETECTORS SHALE BE INSTALLED IN ACCORDANCE WITH ILLINOIS STATE SMOKE DETECTOR ACT OF 1988.

PLUMBING

. PROVIDE ALL LABOR AND MATERIALS FOR A COMPLETE PLUMBING SYSTEM N ACCORDANCE WITH LOCAL AND STATE CODES AND ORDINANCES. INSPECT EXISTING CONDITIONS AND MATERIALS PRIOR TO SUBMITTAL OF BID. PROVIDE SLEEVES FOR PIPING THROUGH EXISTING AND NEW CONSTRUCTION, AND SEAL FOLLOWING PIPEWORK INSTALLATION WITH U.L. APPROVED FIRE RATED SEALANT.

ARRANGE PIPING TO PERMIT EQUIPMENT AND FIXTURE REMOVAL. PROVIDE SHUT-OFF VALVES AT ALL EQUIPMENT AND FIXTURES. PRESSURE TEST ALL PIPING SYSTEMS PRIOR TO CONCEALMENT. FIX ALL LEAKS AT ONCE. TEST DURATION SHALL BE A MINIMUM OF ONE HOUR

. PROVIDE CODE APPROVED ANTI-SCALD PRESSURE BALANCED PLUMBING 6 PROVIDE FOUIPMENT SUBMITTALS TO ARCHITECT FOR REVIEW SUBMITTALS. ARE REQUIRED. FOR ALL EQUIPMENT, FIXTURES, FAUCETS, AND ACCESSORIES.

ADEQUATELY SUPPORT ALL PIPING AND FIXTURES. PROVIDE EXPANSION LOOPS AS REQUIRED. 7. ALL WATER DISTRIBUTION PIPING SHALL BE COPPER PIPE. 8. SOIL, DRAIN AND VENT LINES SHALL BE APPROVED PVC (SCHEDULE 40) AND

SHALL CONFORM TO THE LATEST ASTM SPECIFICATIONS FOR RESIDENTIAL

9. ALL WASTE AND VENT PIPING UP TO 3" DIAMETER SHALL BE PVC. OVER 3" SHALL BE CAST IRON OR HARD DRAWN COPPER. 10. CONTRACTOR SHALL PROTECT ALL FIXTURES AND FACETS FROM DAMAGE THROUGH DURATION OF PROJECT. FIXTURES, FAUCETS, AND EQUIPMENT

SHALL BE CLEAN, FREE FROM DAMAGE AND OPERATIONAL FLAWS AT PROJECT 11. PROVIDE ALL CUTTING AND PATCHING AS REQUIRED. CUTTING OF STRUCTURAL MEMBERS SUCH AS FLOOR JOISTS, BEAMS, TRUSSES, ETC. IS NOT PERMITTED WITHOUT SPECIFIC WRITTEN APPROVAL FROM THE

12. PROVIDE OPEN SITE DRAIN AT ALL AIR CONDITIONING FOR CONDENSATION. 3. PROVIDE AND INSTALL ALL GAS PIPING, FITTINGS, AND VALVES. 4. PROVIDE AND INSTALL A GAS WATER HEATER WITH ALL FITTINGS, VALVES, AND CONNECTIONS. FLUE BY HVAC CONTRACTOR 15. PROVIDE A 'GRAY BOX' WITH 2" DRAIN, AND 1/2" HOT AND COLD WATER

ARCHITECT AND/OR ENGINEER.

SERVICE FOR WASHING MACHINE. 16. PROVIDE GRAVITY FED HOT WATER RECIRCULATION LOOP FROM FARTHEST FIXTURE TO WATER HEATER 7. PLUMBING CONTRACTOR SHALL INSTALL ALL WORK IN ACCORDANCE WITH ALL LOCAL AND STATE GOVERNING LAWS, CODES, AND ORDINANCES.

18 THE PLUMBING CONTRACTOR SHALL PROVIDE WATER AND WASTE PIPING ALL FIXTURES AND EQUIPMENT IN KITCHEN AND/OR AS INDICATED ON DRAWINGS AND SCHEDULES. 19. PLUMBING CONTRACTOR SHALL BE LICENSED AND BONDED TO PERFORM

PLUMBING WORK. ALL WORK SHALL BE BY JOURNEYMAN PLUMBERS. THE PLUMBING CONTRACTOR SHALL PROVIDE PLUMBER'S LETTER FOR PERMIT ON COMPANY I FTTFRHFAD 20. ALL DOMESTIC WATER PIPING SHALL BE INSULATED WITH 1" THICK THICK

BERGLASS SECTIONAL PIPE COVERS. 21. ALL DOMESTIC WATER PIPING INCLUDING FITTINGS, VALVES, ETC. SHALL BE INSULATED WITH 1" THICK FIBERGLASS, UL. RATED NON-COMBUSTIBLE, ECTIONAL PIPE. 5-LB DENSITY INSULATION WITH ALL SERVICE JACKET AND SELF-SEALING LAPS, AS MANUFACTURED BY JOHNS-MANVILLE, OWENS CORNING CERTAIN-TEED OR KNAUE FITTINGS VALVES FTC SHALL BE INSULATED BY WRAPPING WITH FIBERGLASS BLANKET AND SECURING WITH JUTE-TWINE, THEN WRAPPING WITH CLOTH TAPE TO FORM A VAPOR BARRIER, AND FINISHING WITH A 1/4" LAYER OF VAPOR PROOF FINISHING CEMENT. INSULATION BUTT JOINTS SHALL BE SEALED WITH 3" WIDE SELF-SEALING LAP STRIPS. WHERE INSULATION ENDS, THE INSULATION SHALL BE BEVELED AND SEALED TO PIPE WITH CLOTH TAPE AND A 1/4" LAYER OF VAPOR-PROOF FINISHING CEMENT FIRERGLASS PREFORMED FITTINGS WITH LAGGING ADHESIVE OR WHITE VINYL COVERS, OR 'ZESTON' FITTINGS MAY BE UTILIZED INSTEAD OF THE ABOVE FITTING INSULATION SYSTEM. HORIZONTAL STORM PIPING TO ALSO BE INSULATED.

22. VERTICAL PIPE RISERS SHALL BE SUPPORTED WITH BAR CLAMPS AT FIRST FLOOR LEVEL. HORIZONTAL PIPING SHALL BE SUPPORTED BY CLEVIS HANGERS WITH THREADED ROD FORM STRUCTURAL MEMBERS. HANGERS FOR INSULATED PIPING SHALL BE OVERSIZED TO ALLOW FOR THE INSULATION. AND A 12" LONG SHEET METAL SADDLE SHALL BE INSTALLED BETWEEN THE HANGER AND THE INSULATION. HANGERS SHALL BE 8'0" MAXIMUM ON CENTER. 'UNISTRUT' TRAPEZE HANGERS ARE RECOMMENDED WHERE MAIN RUNS

AND/OR GROUPS OF PIPING ARE LOCATED. 23. AIR CHAMBERS FOR WATER HAMMER PROTECTION SHALL BE PROVIDED AT ALL FIXTURES AND SHALL BE FULL-SIZE TO HEIGHT OF 12" MINIMUM, 28" AT DISHWASHERS AND 18" ON TOP OF RISERS 24. ALL GATE VALVES SHALL BE JENKINS NO. 62 OR NO. 1243. ALL CHECK

VALVES SHALL BE JENKINS NO. 92-A OR NO. 122. ALL GLOBE VALVES SHALL BE JENKINS NO. 106-A OR NO. 1200-2. ALL HALL VALVES SHALL BE FULL PORT APPOLO WATTS, OR APPROVED EQUAL, ALL VALVES SHALL BE SCREWED-TYPE, WITH ADAPTERS. SWEAT VALVES WILL NOT BE PERMITTED. EQUIVALENT: CRANE, LUNKENHEIMER OR NIBCO MAY BE SUBSTITUTED. 25 ALL PLUMBING FIXTURES SHALL BE AS PER 'PLUMBING FIXTURES AND EQUIPMENT SCHEDULE' ON ARCHITECTURAL DRAWINGS. ALL FIXTURES SHALL BE PROVIDED AND INSTALLED BY PLUMBING CONTRACTOR, UNLESS OTHERWISE NOTED.

26. ALL DOMESTIC WATER PIPING SHALL BE FLUSHED AND DISINFECTED. THIS WORK SHALL COMPLY WITH REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION, AND THE ILLINOIS STATE BOARD OF HEALTH. 27 ALL VENTS THROUGH THE ROOF SHALL HAVE PROPER FITTING AS REQUIRED BY CODE, OR AS SHOWN ON DRAWINGS, WHICHEVER IS STRICTER. PROVIDE CONNECTION TO EXISTING BRANCH VENT PIPING BELOW INCREASERS AND VENT THROUGH ROOF, IF POSSIBLE

PROVIDE A 24" SQUARE, 4-LB SHEET LEAD FLASHING TURNED DOWN INSIDE THE VENT PIPE. FOR EACH ROOF DRAIN, PROVIDE A 36" SQUARE, 4-LB. LEAD FLASHING SECURED TO THE FLASHING CLAMP. 29 ALL FIXTURES SHALL BE PROVIDED WITH STOP VALVES LOCATED AT THE FIXTURE.. STOP VALVES SHALL BE CHROME-PLATED ANGLE-TYPE, WITH FLEXIBLE RISERS FULL SIZE OF VALVE) AND WHEEL HANDLES. NIPPLE OUT OF WALL TO STOP SHALL BE CHROME-PLATED BRASS.

30. ALL EXPOSED PIPING IN FINISHED AREAS TO INCLUDE PIPE NIPPLES AT STOP VALVES AND TRAPS SHALL BE CHROME-PLATED. ALL PIPING THROUGH FLOOR OR WALL SHALL HAVE CHROME-PLATED OR STAINLESS STEEL ESCUTCHEON PLATE WITH SET 31. ALL FIXTURE 'P' TRAPS SHALL BE CHROME-

PLATED 17 GAUGE CAST BRASS WITH CLEANOUT PLUG, UNLESS OTHERWISE INDICATED. 32. THE PLUMBING CONTRACTOR SHALL MAKE FINAL GAS CONNECTION TO WATER HEATER(S) FROM GAS COCK IN BASEMENT. THE PLUMBING CONTRACTOR SHALL PROVIDE GAS PIPING AS SPECIFIED IN 'HVAC NOTES AND SPECIFICATIONS'. 33 THE PLUMBING CONTRACTOR SHALL ALSO MAKE FINAL GAS

PLUMBING CONTRACTOR. PROVIDE GAS COCK AND APPROVED FLEXIBLE CONNECTOR AT EACH LOCATION AND FIREPLACES, IF APPLICABLE. GAS COCKS AT KITCHEN APPLIANCES SHALL BE BRASS WITH LEVER HANDLE. 34. ALL GAS PIPING SHALL BE SCHEDULE-40 BLACK IRON T & C WITH BLACK MALLEABLE FITTINGS. NO GALVANIZED PIPE OR FITTINGS SHALL BE INSTALLED. LUBRICATE ALL JOINTS WITH 'LACO' TEFLON PASTE. 35. THE HVAC CONTRACTOR SHALL FURNISH AND INSTALL THE CONNECTOR FLUE VENT OR CONNECTION FOR THE NEW WATER HEATERS AND BOILER, AS SPECIFIED ON DRAWINGS.

CONNECTION TO KITCHEN APPLIANCES FROM PIPING ROUGHED-IN BY

36. THE PLUMBING SYSTEMS SHALL BE COMPLETE WITH ALL NECESSARY APPURTENANCES FOR A COMPLETE AND OPERATING SYSTEM. 37. PLUMBING CONTRACTOR SHALL WARRANTY ALL MATERIALS AND GUARANTEE ALL WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION.

MECHANICAL

ENVIRONMENTAL DESIGN STANDARDS I. HEATING SYSTEM: PROVIDE EQUIPMENT AND DISTRIBUTION SYSTEM CAPABLE OF MAINTAINING INDOOR TEMPERATURE OF 68 DEGREES F AT -10 DEGREES F EXTERIOR. 2. HUMIDIFICATION: PROVIDE EQUIPMENT CAPABLE OF INDOOR RELATIVE

HUMIDITY OF 40% AT 68 DEGREES, F, REGARDLESS OF OUTDOOR 3. AIR COOLING: PROVIDE EQUIPMENT AND DISTRIBUTION SYSTEM CAPABLE F MAINTAINING INDOOR TEMPERATURE OF 72 DEGREES F AT +100

DEGREES F OUTDOOR TEMPERATURE. 4. DEHUMIDIFICATION: PROVIDE EQUIPMENT AT LOCATIONS NOTED CAPABLE OF REDUCING INDOOR RELATIVE HUMIDITY TO 50% AT 72 DEGREES F REGARDLESS OF OUTDOOR CONDITIONS. 5. AIR CLEANING: PROVIDE UNIT AT MAIN RETURN DUCT THAT OPERATED AUTOMATICALLY UPON ACTIVATION OF FAX. UNIT SHALL BE RATED 75%

EFFICIENT AT 1400 CFM MIN. 6. AIR VELOCITIES MAXIMUM: *MAIN TRUNK DUCTS: 800 FPM *BRANCH TRUNK DUCTS: 500 FPM

1. HVAC WORK IS TO BE PERFORMED ON A 'DESIGN BUILD' BASIS. WORK SHALL COMPLY WITH CODE REQUIREMENTS, OWNER'S PROGRAM, AND ENVIRONMENTAL DESIGN STANDARDS INDICATED. REFER TO GENERAL CONDITIONS FOR OTHER REQUIREMENTS. 2. THE CONTRACTOR SHALL INSPECT THE JOB SITE FOR EXISTING CONDITIONS AND FOR COORDINATION WITH ALL OTHER TRADES AND DRAWINGS. CLAIMS FOR ADDITIONAL COMPENSATION, DUE TO EXISTING

CONDITIONS OR COORDINATION WITH OTHER TRADES, WILL NOT BE GIVEN CONSIDERATIONS B. PROVIDE ALL CUTTING, PATCHING, SHORING, AND BRACING AS REQUIRED 4. PROVIDE 1" SOUND LINING 15 FEET DOWNSTREAM OF ALL AIR HANDLING EQUIPMENT. INSULATE DUCTS AS NEEDED TO PREVENT CONDENSATION. 5. DUCTWORK AND PIPING SHALL BE CONCEALED RUN IN STRAIGHT LINES PARALLEL AND/OR PERPENDICULAR TO THE BUILDING CONSTRUCTION, AND

INSTALLED AS HIGH AS POSSIBLE. PROVIDE FACTORY FABRICATED TURNING VANES IN ALL SQUARE TURN 7. EQUIPMENT NOISE LEVEL SHALL NOT EXCEED 55 dB AT THE LOT LINES.

8. ALL OUTSIDE AIR INTAKES SHALL BE INSTALLED A MINIMUM OF 15 FEET FROM ALL EXHAUST OUTLETS AND/OR CONTAMINANTS. 9. FLEXIBLE DUCTWORK SHALL NOT BE ALLOWED. 10. ALL EXPANSION VALVES, DEVICES, AND CONNECTIONS SHALL BE REMOVED FROM THE AIRSTREAMS OF ALL MECHANICAL EQUIPMENT AS PER

CODE REQUIREMENT 1. THE CONTRACTOR SHALL PROVIDE ALL LABOR MATERIAL, EQUIPMENT, AND SERVICES REQUIRED TO FURNISH AND INSTALL, TEST AND ADJUST ALL HEATING, VENTILATION, AIR CONDITIONING SYSTEMS IN ALL DETAIL, AND READY FOR SATISFACTORY OPERATION. 12. ALL DUCTWORK SHALL BE MINIMUM 24-GAUGE GALVANIZED SHEET

METAL. COMPLY WITH THE RECOMMENDATIONS OF THE AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS AND THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION FOR DUCTWORK ASSEMBLIES AND SYSTEMS. DUCTWORK SYSTEMS SHALL BE SUBSTANTIALLY AIR TIGHT. 13. ALL DAMPERS SHALL BE LOCKING TYPE.

15 FLUES FOR GAS WATER HEATER EQUIPMENT SHALL BE U.L. RATED 'B-VENT' AS MANUFACTURED BY METAL ASBESTOS OR EQUAL, COMPLETE WITH SUPPORTS, FIRE STOPS, AND ELBOWS. MAINTAIN A MINIMUM OF 1" AIR SPACE BETWEEN FLUE AND COMBUSTIBLE MATERIALS. 16. PROVIDE NON-CORROSIVE DUCT TO EXTERIOR FOR DRYER AND BATH EXHAUST VENT WITH BACK DRAFT DAMPER AND WEATHER CAP. 17. PROVIDE HOUSEKEEPING PADS AND EQUIPMENT SUPPORTS AS NEEDED.

14. PROVIDE FLASHING AND SEALANTS FOR WEATHER-TIGHT PENETRATIONS

THROUGH EXTERIOR WALL, FOUNDATION, OR ROOF.

WINDOWS, ETC. UNLESS NOTED OTHERWISE

NEW WORK.

EACH SLEEPING ROOM.

19. ALL DUCTWORK IN UNHEATED ATTIC AND CRAWL SPACES SHALL BE 20. SIZE FLUE IN ACCORDANCE WITH APPLIANCE EQUIPMENT MANUFACTURER AND WITH THE NATIONAL FUEL GAS CODE 21. MECHANICAL CONTRACTOR TO COORDINATE DUCT FLUE AND REGISTER LOCATION WITH STRUCTURAL TRUSS LAYOUT TO AVOID INTERFERENCE. 22. ALL AIR DEVICES SHALL BE CENTERED OVER DOORS, UNDER

18 ALL FILTERS SHALL BE CLEAN AT TIME OF PROJECT COMPLETION

23. ALL FLOOR REGISTERS TO BE LOCATED A MAXIMUM OF 9" FROM FACE OF 24. MECHANICAL CONTRACTOR TO BALANCE SYSTEM AS REQUIRED FOR

25. ALL SUPPLY REGISTERS SHALL BE 4" x 10" GRILLES WITH DAMPERS (TYP) UNLESS OTHERWISE NOTED. 26. ALL REFRIGERATION LINES TO BE TYPE 'K' COPPER 7. PROVIDE 3/8" SAFETY VALVE LOCATED ON CONDENSER AND SET FOR 450

LBS_PRESSURE HEATING CONTRACTOR TO VERIFY ALL HEAT LOSS CALCULATIONS, FURNACE AND A/C SIZES, AND CFM SUPPLIED OR RETURNED. THIS CONTRACTOR SHALL SUBMIT TO THE GENERAL CONTRACTOR IN WRITING, CERTIFYING THAT THE HEATING SYSTEM WILL COMPLY WITH THE CITY OF CHICAGO MUNICIPAL CODE, PROVIDING AN INSIDE TEMPERATURE OF 70 DEGREES F AT ALL OCCUPIED ROOMS IN THE BUILDING STRUCTURE WHEN THE OUTSIDE TEMPERATURE IS AT -10 DEGREES E SECTION 28(13-184-030) 28. VOLUME DAMPERS OF LOCKING TYPE TO BE INSTALLED IN EACH WARM

AIR DUCT RUN. 29. HUMIDIFIERS TO BE INSTALLED AT EACH FURNACE. 30. DISCHARGE P&T RELIEF VALVE AND AIR CONDITIONER CONDENSATE INTO OPEN SITE DRAIN (TYP.) 31. CARBON MONOXIDÉ DETECTORS SHALL BE INSTALLED MAX. 40' FROM

Safety & Liability

THE ARCHITECT HAS NO RESPONSABILITY FOR SAFETY PROGRAMS OR PROCEDURES: AND HAS NO RIGHT TO STOP ANY WORK, JOBSIDE SAFETY IS THE RESPONSABILITY OF THE GENERAL CON-TRACTOR AND ALL SUB-CONTRACTORS.

GANSARI & ASSOCIATES LLC

4753 N. BROADWAY ST. SUITE 618 CHICAGO. IL 60640 773.904.7560



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DATE: 2.18.19 DRAWN BY: C.G. CHECKED BY: C.G.

SHEET

1. CONTRACTOR SHALL VISIT AND INSPECT THE SITE TO FAMILIARIZE ONESELF WITH THE JOB CONDITIONS PRIOR TO BIDDING AND WORK COMMENCEMENT. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING WORK THAT IS REQUIRED FOR THE

2. CONTRACTOR IS TO THOROUGHLY EXAMINE ALL LOCATIONS WHERE NEW WORK IS TO BE INSTALLED AND WHERE ANY EXISTING CONSTRUCTION IS TO BE REMOVED OR MODIFIED.

3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING STRUCTURE CONDITIONS/DIMENSIONS AND REPORT ANY DISCREPANCIES, OMISSIONS, OR CONFLICTS TO THE ARCHITECT IMMEDIATELY IN WRITING BEFORE WORK COMMENCEMENT.

4. SCOPE OF DEMOLITION WORK IS TO INCLUDE, BUT NOT BE LIMITED TO, ALL DEMOLITION,

REMOVAL, DISCONNECTIONS, REROUTING AND STRUCTURAL BRACING, TEMPORARY

5. CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIAL AND LABOR TO FULLY COMPLY WITH THE SCOPE OF WORK WHETHER OR NOT SPECIFIED OR SHOWN IN THE PERMIT

6. CONTRACTOR SHALL NOTIFY ALL APPLICABLE ENGINEERING DEPARTMENTS AND UTILITIES A MINIMUM OF 72 HOURS IN ADVANCE OF ANY DEMOLITION WORK. CONTRACTOR SHALL FOLLOW ALL NECESSARY PRECAUTIONS TO PROTECT AND MAINTAIN EXISTING UTILITIES.

7. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES THE SHUTTING OFF OF UTILITIES PRIOR TO DEMOLITION. CONTRACTOR SHALL CLEARLY IDENTIFY ALL UTILITIES THAT ARE SHUT OFF OR CAPPED.

8. CAP OFF ALL PLUMBING LINES TO FIXTURES BEING REMOVED.

9. CONTRACTOR TO STRICTLY ADHERE TO THE CITY OF CHICAGO BUILDING CODE. ALL OTHER GOVERNING CODES, AND OSHA REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE EXECUTION OF ALL WORK.

10. CONTRACTOR SHALL INFILL OPENINGS CREATED BY THE REMOVAL OF PIPES, CONDUITS,

11. CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS, ETC. CAUSED BY THIS WORK AS

SOON AS IT ACCUMULATES. CONTRACTOR SHALL PROVIDE ON-SITE DUMPSTERS.

12. CONTRACTOR SHALL VERIFY AND COORDINATE PLACEMENT OF DUMPSTERS WITH

13. CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY ITEMS OR EQUIPMENT TO BE

14. CONTRACTOR MUST COMPLY WITH THE INSURANCE/HOLD HARMLESS REQUIREMENTS PRIOR TO THE START OF ANY WORK.

15. NO WORK SHALL BEGIN UNTIL THE ARCHITECT IS HELD HARMLESS FOR ALL WORK SHOWN

AND ANY PROBLEMS THAT ARISE BEFORE, DURING, AND/OR AFTER CONSTRUCTION.

DEMOLITION KEY NOTES

BATH CABINETRY, FIXTURES, APPLIANCES AND

REMOVE AND REPLACE EXISTING ELECTRICAL IN

REMOVE AND REPLACE EXISTING DOOR AND FRAME. REPLACE WITH NEW. SAME SIZE SAME

REMOVE AND REPLACE EXISTING HARDWOOD FLOOR AND TRIMS.

REMOVE INTERIOR DOOR.

REMOVE PORTION OF THE EXISTING INTERIOR WALL. NEW PARAPET WALL TO REMAIN, AS PER ARCHITECTURAL DRAWINGS.

REMOVE PORTION OF THE EXISTING BRICK 7 WALL FOR NEW WINDOW OPENING. INSTALL NEW STEEL LINTEL AS PER PLANS.

SAFETY & LIABILITY

CONTRACTORS.

THE ARCHITECT HAS NO RESPONSABILITY FOR SAFETY PROGRAMS OR PROCEDURES: AND HAS NO RIGHT TO STOP ANY WORK. JOBSIDE SAFETY IS THE RESPONSABILITY OF THE GENERAL CONTRACTOR AND ALL SUB-

GANSARI & **ASSOCIATES** LLC.

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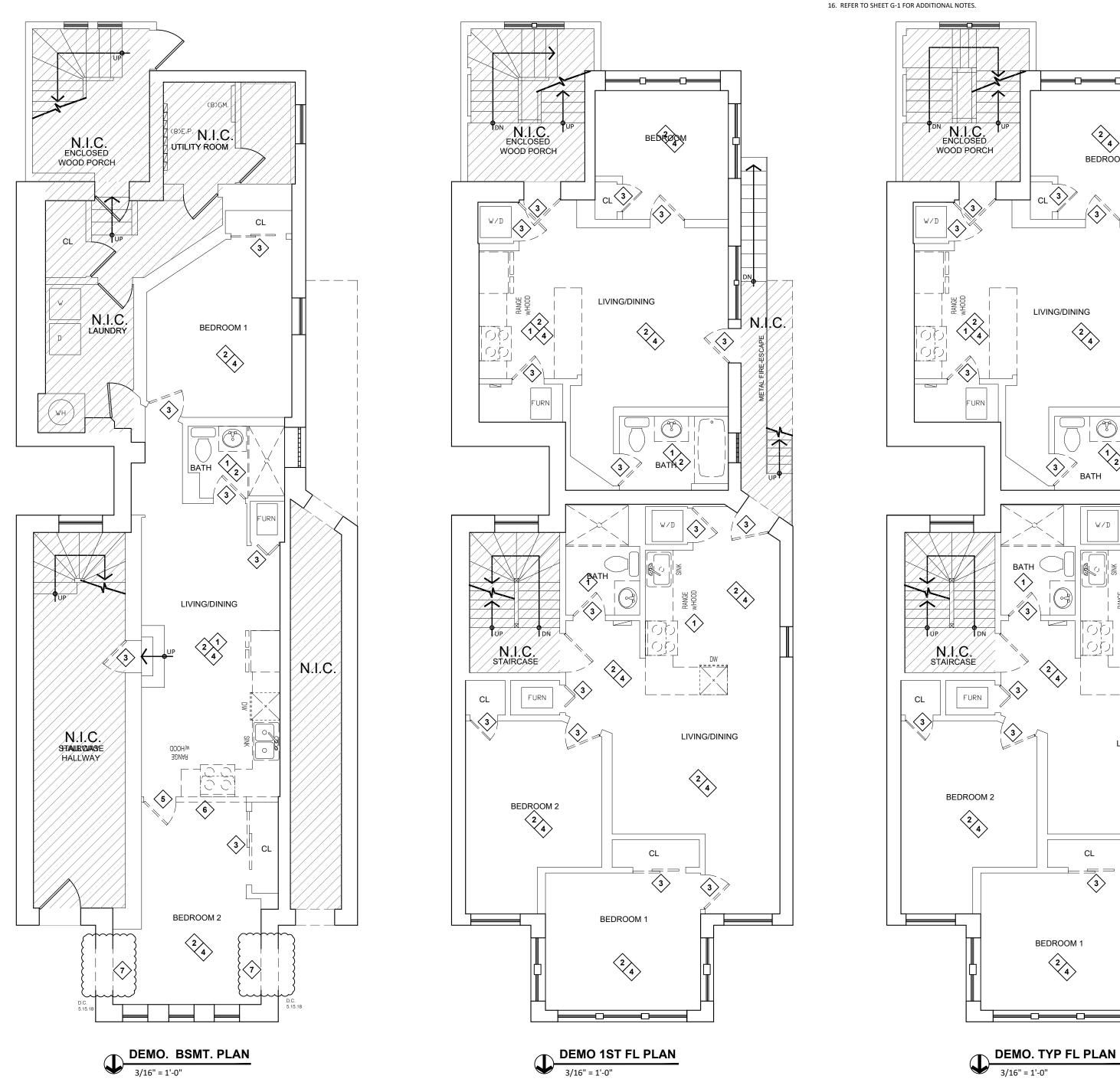
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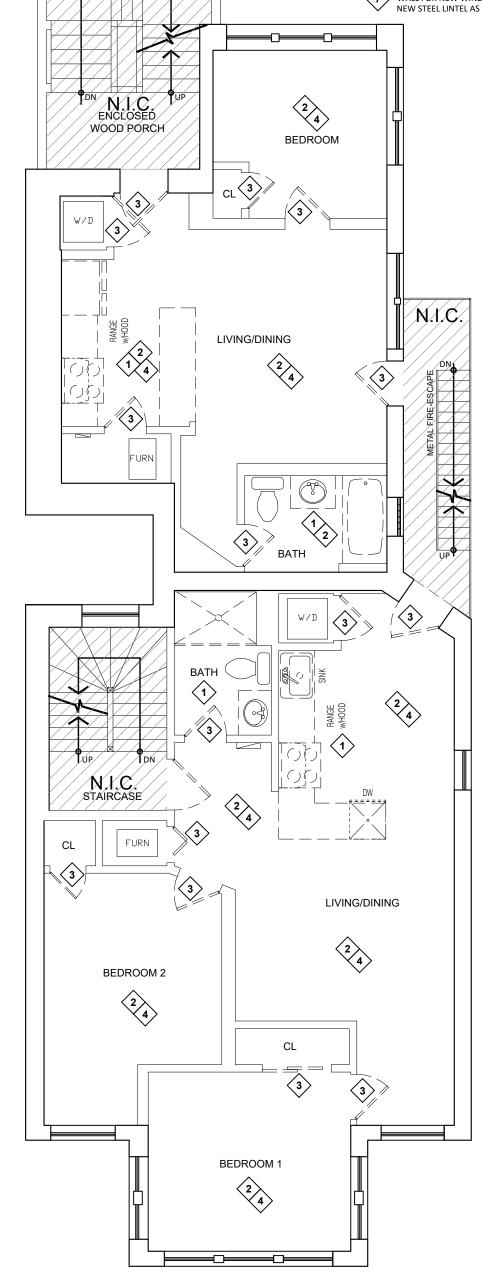
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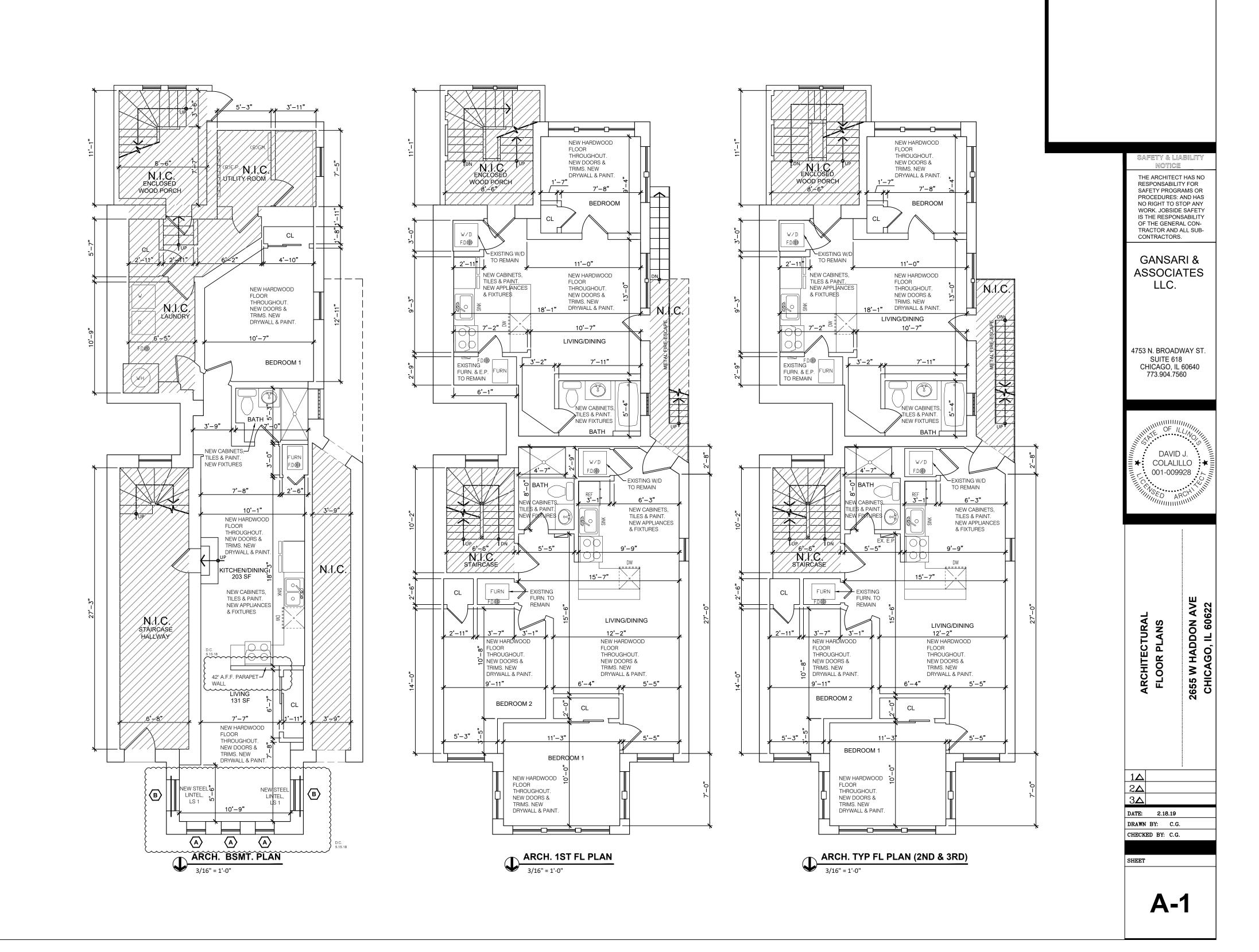
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CHICAGO GENERAL NOTES

ALL INTERIOR FINISHES TO BE CLASS 1, 0-25 FLAME SPREAD RATING.

GLAZING AT ALL DOORS TO BE SAFETY TEMPERED CORING IS THE APPROVED. DAMAGE WILL BE

ALL GLAZING BELOW 2'-0" FROM FINISHED FLOOR SHALL BE SAFETY TEMPERED GLASS.

ALL CONTRACTORS SHALL VISIT THE SITE PRIOR TO BIDDING AND NOTE WITHIN THEIR BID PACKAGE, ANY AND ALL DISCREPANCIES WITH THESE BASE DRAWINGS. NO CHANGE ORDERS WILL BE HONORED EXCEPT FOR THE FOLLOWING. COORDINATE FLOOR AND FRAMING LAYOUT

1. OWNER REQUESTED REVISIONS 2. HIDDEN OR CONCEALED PROBLEMS

ALL WORK SHALL BE COMPLETE AND FUNCTIONAL AND MEET THE OWNERS, ARCHITECTS AND CITY APPROVAL OF THE WORK OPENING WITH WINDOW, AND DOOR SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.

ALL CONTRACTORS ARE RESPONSIBLE FOR **EXECUTING WORK IN COMPLIANCE WITH ANY** AND ALL APPLICABLE CODES AND ORDINANCES.

DIMENSIONS ARE TO FINISHES UNLESS NOTED OTHERWISE.

ALL CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN PENETRATIONS THROUGH BRICK, CONCRETE, WOOD, FOUNDATION WALLS, ETC. **BACK CHARGED ACCORDINGLY.**

VERIFY TUB ROUGH FRAMING DIMENSIONS WITH SELECTED TUB MANUFACTURER AND ADJUST ACCORDINGLY.

PROVIDE ROD AND SHELF AT ALL CLOSETS UNLESS NOTED OTHERWISE.

WITH PLUMBING AND HVAC WORK TO AVOID INTERFERENCE.

ALL MASONRY OPENINGS ARE TO BE INTERPRETED AS NOMINAL DIMENSIONS. **CONTRACTOR SHALL VERIFY ACTUAL MASONRY** MANUFACTURER ACCORDINGLY.

ROOF CONSTRUCTION- PROVIDE R-49 INSULATION OF ROOF.

ANYWHERE INTERIOR FINISH OF EXTERIOR WALLS IS REMOVED, INSULATE WALLS WITH R-19 **INSULATION TO MEET CODE REQR.**

ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS 1, 0-25 FLAME SPREAD RATING.

ALL FLOOR COVERINGS SHALL HAVE A FLAME SPREAD RATING OF 75 OR BETTER.

GENERAL CONTRACTOR TO REVIEW ALL INTERIOR FINISHES WITH OWNER PRIOR TO ORDERING MATERIAL.

WATER RESISTANT GYPSUM BOARD SHALL BE USED THROUGHOUT BATHROOMS, BEHIND KITCHEN SINKS AND ALL OTHER WET LOCATIONS.

HARDWARE NOTES

ALL UTILITY ROOM DOORS TO HAVE KEYED ENTRY LOCK AND SURFACE MOUNTED CLOSERS.

ALL EXIT DOORS ARE KEYLESS IN THE DIRECTION OF EGRESS.

ALL UNIT ENTRY DOORS TO HAVE KEYED ENTRY LOCKS, DEADBOLTS AND **SURFACE MOUNTED CLOSERS.**

ALL BATHROOM DOORS TO HAVE PRIVACY LOCKS.

ALL OTHER SWING DOORS TO HAVE PASSAGE SETS.

ALL BI-FOLD DOORS TO HAVE HEAVY DUTY TRACKS.

BUILDING EXTERIOR ENTRY DOORS AND VESTIBULE DOORS TO HAVE KEYED ENTRY LOCK, ELECTRIC STRIKE WIRE TO INTERCOM, PANIC HARDWARE AND SURFACE MOUNTED CLOSERS.

COORDINATE ALL KEYING WITH OWNER.

OWNER TO SPECIFY HARDWARE MANUFACTURER.

EGRESS NOTES

ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO BE READILY OPENED WITHOUT THE USE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.

CHICAGO ENERGY CODE NOTES

- 1. THE SCOPE OF WORK IS IN AN EXISTING RESIDENTIAL BUILDING LAWFULLY IN EXISTENCE AT THE TIME OF ADOPTION OF THE INTERNATIONAL ENERGY CONSERVATION CODE OF THE CITY OF CHICAGO.
- 2. THE FOLLOWING NEED NOT COMPLY PROVIDED THE ENERGY USE OF THE **BUILDING IS NOT INCREASED.**
- a. STORM WINDOWS INSTALLED OVER EXISTING FENESTRATION.
- b. GLASS-ONLY REPLACEMENTS IN AN EXISTING SASH AND FRAME. c. EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING
- CONSTRUCTION, PROVIDED THESE CAVITIES ARE FILLED WITH INSULATION.
- d. CONSTRUCTION WHERE THE EXISTING ROOF, WALL OR FLOOR CAVITY IS NOT EXPOSED. SEE SHEET A3 FOR SCHEDULES.

> >	WINDOW SCHEDULE				SYMBOL: 🔷		
}	MARK	WIDTH	HEIGHT	LIGHT SQ FT	VENT SQ FT	NOTE	
\	Α	1'-8"	4'-2"	5.64	5.64	EXISTING WINDOWS	
}	В	3'-0"	4'-2"	10.03	5.01	NEW DOUBLE-HANG	

STEEL LINTEL SCHEDULE	SIZE	MAX. SPAN		
} LS1	4 x 3 x ½"	4'-6"		

5.15.18

THE ARCHITECT HAS NO

RESPONSABILITY FOR SAFETY PROGRAMS OR PROCEDURES: AND HAS NO RIGHT TO STOP ANY WORK. JOBSIDE SAFETY IS THE RESPONSABILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS.

GANSARI & **ASSOCIATES** LLC.

4753 N. BROADWAY ST. SUITE 618 CHICAGO, IL 60640 773.904.7560



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DRAWN BY: C.G. CHECKED BY: C.G.

ARCHITECTU

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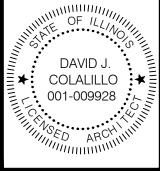


SAFETY & LIABILITY NOTICE

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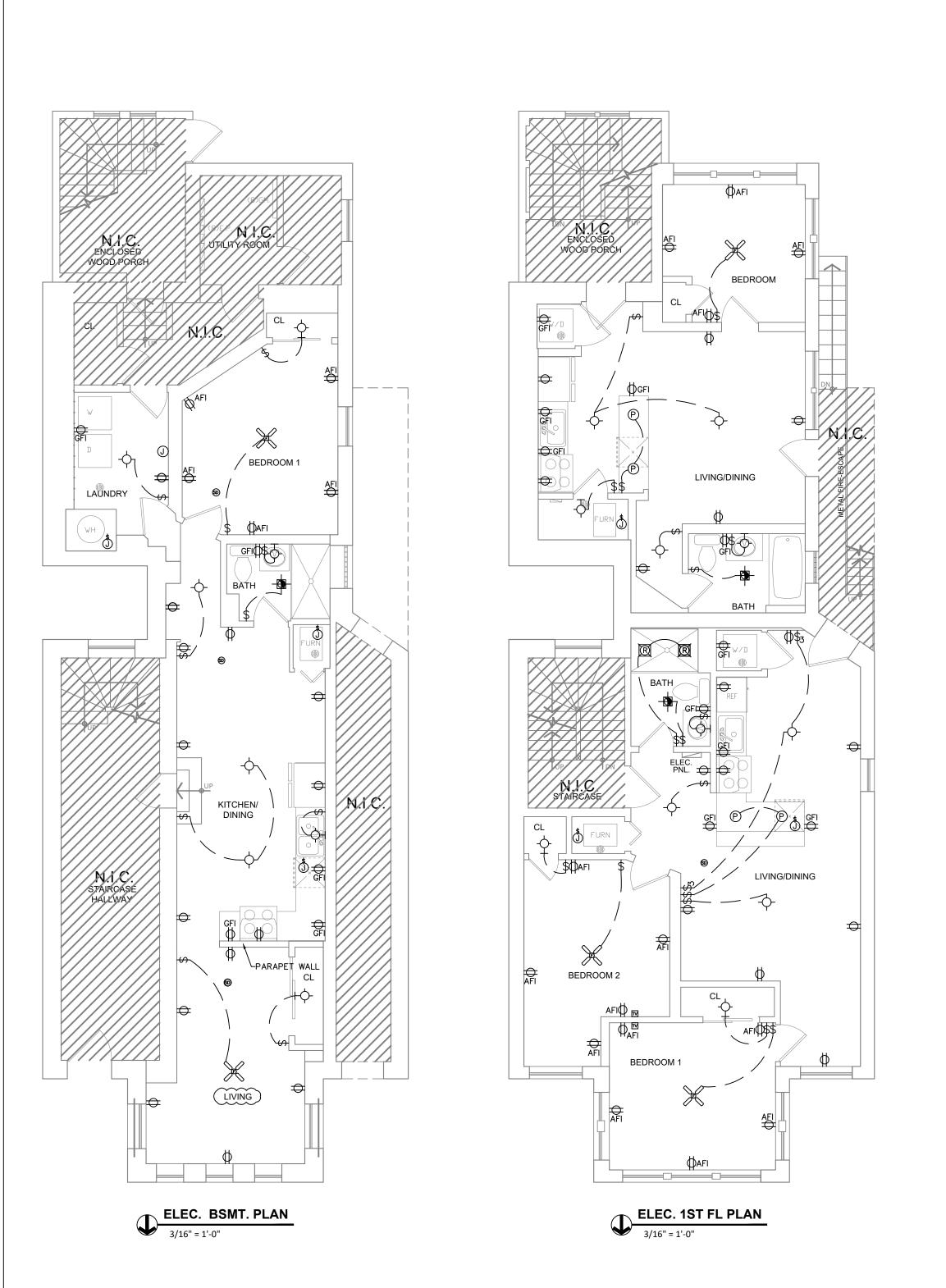
MECHANICAL FLOOR PLANS 2655 W HADDON AVE CHICAGO, IL 60622

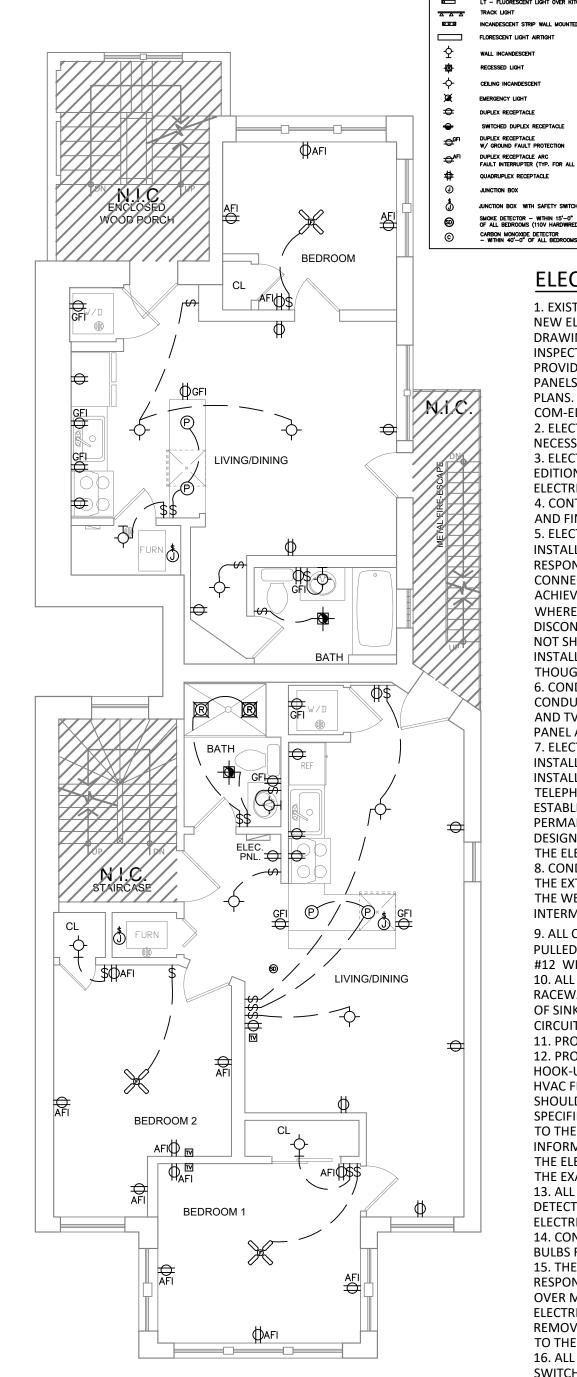
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ELECTRICAL NOTES:

SYMBOL LEGEND

PANEL BOARD W/ CIRCUIT BREAKERS

1. EXISTING SERVICE TO BE UTILIZED IF POSSIBLE, NEW ELECTRIC LOAD DEMAND AS SHOWN ON DRAWINGS. EXISTING ELECTRIC PANELS TO BE INSPECTED. NEW ELECTRIC SERVICE TO BUILDING PROVIDED IF NECESSARY WITH ALL NECESSARY PANELS ETC. TO ELECTRIC ROOM INDICATED ON PLANS. CONTRACTOR TO COORDINATE WITH

EMERGENCY BATTERY BACKL (FOR EMERGENCY LIGHT)

REMOTE HEAD ONLY (FOR EMERGENCY LIGHT)

PHONE JACK

TO BATTERY IN MECH. RM (TYP.)

2. ELECTRICAL CONTRACTOR TO OBTAIN ALL **NECESSARY PERMITS.**

3. ELECTRICAL CONTRACTOR SHALL FOLLOW LATEST EDITION OF THE CITY OF CHICAGO 2018 ELECTRICAL CODE.

4. CONTRACTOR SHALL CALL FOR ALL ROUGH-IN AND FINAL INSPECTIONS REQUIRED.

5. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL (FOR ALL WORK DESIGNATED AS HIS RESPONSIBILITY) ALL WIRE, WIREWAY, CONDUIT, CONNECTORS, OUTLETS, ETC., NECESSARY TO ACHIEVE A COMPLETE ELECTRICAL INSTALLATION. WHERE AN ELECTRICAL DEVICE AND/OR DISCONNECT SWITCH IS REQUIRED BY CODE BUT NOT SHOWN, IT SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR AS THOUGH FULLY SHOWN AND SPECIFIED. 6. CONDUITS FOR CABLE TV TO BE PROVIDED. ALL CONDUITS TO THE OUTSIDE COMMUNICATION AND TV PANELS TO BE RUN CONCEALED. LOCATE PANEL AT SAME AREA AS ELECTRIC PANEL. 7. ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ALL NECESSARY WIRING FOR TELEPHONE INSTALLATION AND CONNECTION. BRING ALL TELEPHONE LINES TO LOCATION OF PANEL ESTABLISHED BY THE PHONE COMPANY AND PERMANENTLY LABELED WITH APPROPRIATE DESIGNATIONS. LOCATE PANEL AT SAME AREA AS THE ELECTRIC PANEL.

8. CONDUIT INSTALLED ON OR BELOW GRADE, ON THE EXTERIOR OF THE BUILDING OR EXPOSED TO THE WEATHER SHALL BE RIGID GALVANIZED OR INTERMEDIATE METAL CONDUIT.

9. ALL CIRCUITS FROM THE SUB PANELS TO BE PULLED IN 1/2" CONDUIT MINIMUM WITH # 14 AND #12 WIRE.

10. ALL 120 VOLT RECEPTACLES TO BE IN BONDED RACEWAY. 120 VOLT RECEPTACLES WITHIN SIX FEET OF SINKS OR WET AREAS TO BE GROUND FAULT CIRCUIT INTERRUPTION PROTECTED (GFI). 11. PROVIDE DOOR ENTRY SYSTEM FOR BUILDING. 12. PROVIDE AND INSTALL ALL ELECTRICAL HOOK-UPS NECESSARY FOR HVAC CONTRACTOR. HVAC FEEDERS AND DISCONNECT SWITCH SIZES SHOULD BE REFERRED TO MANUFACTURERS SPECIFIED EQUIPMENT REQUIREMENTS. REFER TO THE HVAC DRAWINGS AND PUBLISHED INFORMATION OF THE MECHANICAL EQUIPMENT. THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY THE EXACT REQUIREMENTS. 13. ALL SMOKE, HEAT AND CARBON MONOXIDE DETECTORS TO BE HARD WIRED TO 110 V

ELECTRICAL SYSTEM.

14. CONTRACTOR TO PROVIDE AND INSTALL LIGHT BULBS FOR ALL LIGHT FIXTURES.

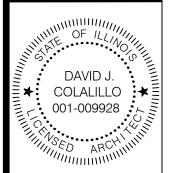
15. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL OF ANY LEFT OVER MATERIAL OR RUBBISH CAUSED BY ANY ELECTRICAL INSTALLATION. ALL RUBBISH SHALL BE REMOVED OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

16. ALL ELECTRICAL TRIM WORK INCLUDING SWITCHES, OUTLETS, EXHAUST FANS, ETC., TO BE CONSISTENT IN COLOR AND DESIGN THROUGHOUT THE PROJECT.

RESPONSABILITY FOR SAFETY PROGRAMS OR PROCEDURES: AND HAS NO RIGHT TO STOP ANY WORK. JOBSIDE SAFETY OF THE GENERAL CON-TRACTOR AND ALL SUB-CONTRACTORS.

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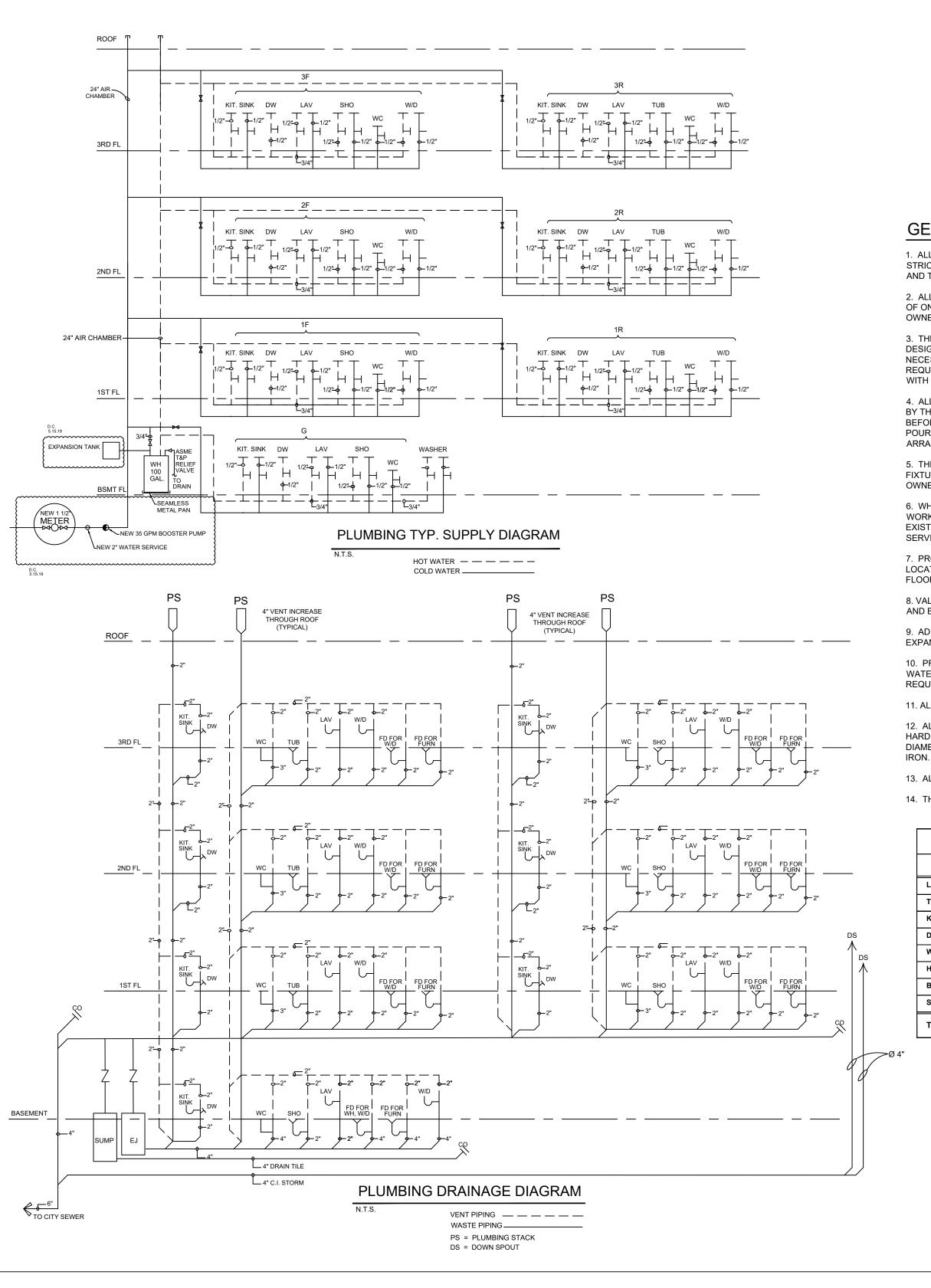
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17. REFER TO SHEET G-1 FOR ADDITIONAL NOTES.



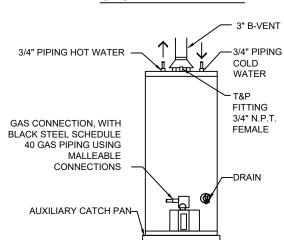
GENERAL PLUMBING NOTES

- 1. ALL PLUMBING WORK TO COMPLY WITH AND TO BE EXECUTED IN FIXTURES AND FAUCETS FROM DAMAGE THROUGH THE DURATION STRICT ACCORDANCE WITH THE CITY OF CHICAGO BUILDING CODE AND THE STATE OF ILLINOIS PLUMBING REQUIREMENTS.
- 2. ALL PLUMBING WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE
- 3. THE PLUMBING CONTRACTOR SHALL VERIFY THE SIZING AND DESIGN OF ALL PLUMBING SHOWN AND SHALL FURNISH ALL NECESSARY LABOR, MATERIALS, INSTRUMENTS AND DEVICES REQUIRED TO CAUSE THE SYSTEM TO PERFORM IN ACCORDANCE WITH THE INTENT OF THE PLANS.
- 4. ALL PLUMBING ROUGH-INS MUST BE INSPECTED AND APPROVED BY THE CITY OF CHICAGO. INSPECTIONS SHALL BE SCHEDULED BEFORE DRYWALL IS HUNG IN CHASE AREAS OR CONCRETE POURED AT TRENCHES. CONTRACTOR IS RESPONSIBLE FOR ARRANGING ALL INSPECTIONS.
- 5. THE PLUMBING CONTRACTOR MUST TEST ALL PLUMBING FIXTURES (PRESSURE TEST THE ENTIRE SYSTEM) BEFORE THE OWNER WILL ACCEPT THE OCCUPANCY.
- 6. WHENEVER POSSIBLE, UTILIZE EXISTING UNDERGROUND SEWER WORK. THE PLUMBING CONTRACTOR SHALL VERIFY THAT THE EXISTING STORM SEWER AND WASTE SEWER SYSTEMS ARE IN SERVICEABLE CONDITION.
- 7. PROVIDE FLOOR DRAINS AT ALL FURNACE AND LAUNDRY LOCATIONS AND ALL OTHER LOCATIONS NOTED ON THE DRAWINGS. FLOOR DRAINS SHALL BE MADE TO FLOW PROPERLY.
- 8. VALVE SHUT-OFFS ARE REQUIRED FOR EACH FIXTURE, RISER, AND BETWEEN BRANCHES.
- 9. ADEQUATELY SUPPORT ALL PIPING FIXTURES. PROVIDE EXPANSION LOOPS AS REQUIRED.
- 10. PROVIDE WATER HAMMER PREVENTION SYSTEM FOR THE WATER SUPPLY PIPING AT EACH RISER AND AT EACH FIXTURE AS REQUIRED BY THE CITY OF CHICAGO BUILDING CODE.
- 11. ALL SUPPLY PIPING TO BE HARD DRAWN COPPER.
- 12. ALL WASTE AND VENT PIPING UP TO 3" DIAMETER SHALL BE HARD DRAWN COOPER OR P.V.C. ALL WASTE AND VENT PIPING 4" DIAMETER AND LARGER SHAL BE HARD DRAWN COOPER OR CAST
- 13. ALL WASTE LINES BELOW GROUND TO BE CAST IRON.
- 14. THE PLUMBING CONTRACTOR SHALL PROTECT ALL EXISTING

- OF CONSTRUCTION.
- 15. ALL EXPOSED PIPING AND/OR TRIMS SHALL BE CHROMIUM PLATED (TYPICAL).
- 16. ANY EXISTING PLUMBING WORK DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH NEW AND EQUAL TO THE EXISTING WITHOUT ANY COST TO THE OWNER.
- 17. PROVIDE ALL CUTTING AND DRILLING TEMPLATES REQUIRED FOR THE NEW WORK. NO EXISTING OR NEW STRUCTURAL WORK TO BE CUT WITHOUT PREVIOUS APPROVAL FROM THE ARCHITECT. PATCH ALL DISTURBED EXISTING WALLS AND CEILING TO MATCH ADJACENT SURFACES.
- 18. INSTALL ALL NEW WORK SUBSTANTIALLY AS INDICATED ON THE DRAWINGS. SLIGHT DEVIATIONS FROM LOCATIONS OF NEW PIPING INDICATED ON THE DRAWINGS MAY BE MADE BY THE CONTRACTOR (AT NO ADDITIONAL CHARGE TO THE OWNER) IN ORDER TO CLEAR EXISTING STRUCTURAL WORK, EXISTING HVAC, EXISTING PIPING, ETC.. HOWEVER, ALL SUCH DEVIATION SHALL BE PREVIOUSLY APPROVED BY THE ARCHITECT/OWNER.
- 19. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE OWNER PERTAINING TO THE USE OF DOOR ENTRIES, WORKING HOURS, REFUSE DISPOSAL, SECURITY, INTERRUPTION OF THE BUILDING UTILITIES, AND/OR FUNCTIONS, OWNERSHIP OR SALVAGED MATERIALS AND ANY OTHER ITEMS DEEMED TO THE MUTUAL INTEREST.
- 20. WORK SHALL INCLUDE, BUT NOT NECESSARILY LIMITED TO PROVIDING ALL LABOR, MATERIALS, TOOLS, PERMITS, TESTS, INSPECTION FEES, TAXES, ETC., NECESSARY FOR, OR INCIDENTAL TO THE INSTALLATION OF NEW PLUMBING WORK SATISFACTORY TO THE OWNER/ARCHITECT.
- 21. ALL OPENINGS THROUGH WINDOWS, FLOOR, AND PARTITIONS SHALL BE PACKED WITH FIRE RATED MATERIAL "THERMO-FIBER No. CW 40". FLOOR OPENINGS ADDITIONALLY SHALL BE CAULKED WATERTIGHT WITH B-1 BUTYL WATERPROOF MASTIC SEALANT.
- 22. PROVIDE 24" AIR CHAMBERS AT THE TOP OF EACH MAIN RISER.
- 23. PROVIDE 12" AIR CHAMBERS AT EACH FIXTURE.
- 24. PROVIDE ANTI-SCALD DEVICES AT ALL TUB AND SHOWER LOCATIONS
- 25. INSULATE ALL EXTERIOR WALL PLUMBING & ALL PLUMBING LOCATED IN FLOORS/CEILINGS ADJACENT TO UNCONDITIONED OR
- 26. REFER TO SHEET G-1 FOR ADDITIONAL NOTES.

FIXTURE SCHEDULE							
DESCRIPTION	MARK	MANUFACTURER	FIXTURE COUNT	FIXTURE UNITS SUPPLY	TOTAL	FIXTURE WASTE	TOTAL
LAVATORY	LAV	AMERICAN STANDARD OR EQUAL	7	1 EACH	7	1 EACH	7
TOILET (WC)	wc	AMERICAN STANDARD OR EQUAL	7	3 EACH	21	4 EACH	28
KITCHEN SINK	KIT	AMERICAN STANDARD OR EQUAL	7	2 EACH	14	2 EACH	14
DISHWASHER	DW	GENERAL ELECTRIC OR EQUAL	7	2 EACH	14	2 EACH	14
WASHER / DRYER	W/D	GENERAL ELECTRIC OR EQUAL	7	2 EACH	14	2 EACH	14
HOSE BIBB	H.B.	AMERICAN STANDARD OR EQUAL	0	1 EACH	0	1 EACH	0
BATHTUB	TUB	AMERICAN STANDARD OR EQUAL	3	2 EACH	6	2 EACH	6
SHOWER	SHO	AMERICAN STANDARD OR EQUAL	4	2 EACH	8	2 EACH	8
TOTAL			42	TOTAL SUPPLY	84	TOTAL SUPPLY	91

GAS WATER HEATER



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& NOTES

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